

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER:  
HIGHTOWER DEVELOPMENT, INC  
PO BOX 5198  
CORALVILLE, IA 52241

APPLICANT:  
HIGHTOWER DEVELOPMENT, INC  
PO BOX 5198  
CORALVILLE, IA 52241

APPLICANT'S ATTORNEY:  
MATTHEW J. HEKTOEN  
SIMMONS PERRINE MOYER BERGMAN P.L.C.  
115 3RD STREET SE, SUITE 1200  
CEDAR RAPIDS, IA 52401

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF TIFFIN REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

### STANDARD LEGEND AND NOTES

**PROPERTY &/or BOUNDARY LINES**

- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

**EXISTING**

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINES
- PROPOSED WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

**PROPOSED**

- 22-1

**PROPOSAL**

APPLICANT PLANS TO DEVELOP A 6.13 ACRE OPD CONSISTING OF 144 UNITS IN TWELVE 3 STORY, (12 UNIT), BUILDINGS.

**DEVELOPMENT CHARACTERISTICS:**

PROPOSED ZONING: OPD-LOTUS HILL SOUTH

SETBACK MINIMUMS:

BUILDING SETBACKS: REQUIRED

FRONT YARD: 20 FEET

SIDE YARD: 05 FEET

CORNER YARD: 15 FEET

REAR YARD: 20 FEET

**LOT CHARACTERISTICS:**

LOT AREA (LOTS 57-68): 267,236 SF (100%) (6.13 AC)

BUILDING FOOTPRINT AREA: 73,440 SF (27.5%)

PROPOSED PAVING AREA: 92,700 SF (31.0%)

EXISTING PAVING AREA: 10,160 SF (3.8%)

GREEN SPACE AREA: 100,936 SF (37.7%)

**PARKING REQUIREMENTS**

MULTI-FAMILY UNITS: 1.4 SPACES \* 144 UNITS = 202 SPACES

SPACES REQUIRED: 202 SPACES

SPACES PROVIDED: 214 TOTAL

WHITE LANE IS PROPOSED AT 36' WIDE TO ALLOW FOR ON-STREET PARKING.

**NOTES:**

1. ALL PROPOSED DRIVES WILL BE PRIVATE.

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

**NORTH**

GRAPHIC SCALE IN FEET 1"=40'

CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
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(319) 351-8282  
www.mmsconsultants.net

#### DEVELOPMENT CHARACTERISTICS LOT 57

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 18,882 SF (100%)

BUILDING AREA: 6,120 SF (32.4%)

PAVING AREA (PROP): 6,744 SF (35.7%)

GREEN SPACE: 6,018 SF (31.9%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.43 ACRES

27.9 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 60

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 19,016 SF (100%)

BUILDING AREA: 6,120 SF (32.2%)

PAVING AREA (PROP): 6,984 SF (36.7%)

GREEN SPACE: 5,912 SF (31.1%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.44 ACRES

27.3 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 63

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 40,335 SF (100%)

BUILDING AREA: 6,120 SF (15.2%)

PAVING AREA (EXIST): 6,669 SF (16.5%)

PAVING AREA (PROP): 8,795 SF (21.8%)

GREEN SPACE: 18,751 SF (46.5%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.93 ACRES

12.9 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 66

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 21,147 SF (100%)

BUILDING AREA: 6,120 SF (28.9%)

PAVING AREA (PROP): 6,485 SF (30.7%)

GREEN SPACE: 8,542 SF (40.4%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.49 ACRES

24.5 DWELLING UNITS PER ACRE

#### C120 OVERALL LAYOUT PLAN

- C121 SITE DIMENSION LAYOUT PLAN WEST
- C122 SITE DIMENSION LAYOUT PLAN EAST
- C140 OVERALL GRADING, EROSION CONTROL, AND SWPPP
- C141 DETAILED GRADING PLAN
- C142 DETAILED GRADING PLAN
- C143 DETAILED GRADING PLAN
- C144 DETAILED GRADING PLAN
- C145 DETAILED GRADING PLAN
- C146 DETAILED GRADING PLAN
- C147 DETAILED GRADING PLAN
- C160 SANITARY SEWER AND WATER MAIN PLAN
- C161 STORM SEWER PLAN
- C500 GENERAL NOTES AND DETAILS
- C501 GENERAL NOTES AND DETAILS
- L100 LANDSCAPE PLAN

#### DEVELOPMENT CHARACTERISTICS LOT 58

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 19,016 SF (100%)

BUILDING AREA: 6,120 SF (32.2%)

PAVING AREA (PROP): 6,984 SF (36.7%)

GREEN SPACE: 5,912 SF (31.1%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.44 ACRES

27.3 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 61

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 20,207 SF (100%)

BUILDING AREA: 6,120 SF (30.3%)

PAVING AREA (PROP): 7,845 SF (38.8%)

GREEN SPACE: 6,242 SF (30.9%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.46 ACRES

26.1 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 64

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 21,141 SF (100%)

BUILDING AREA: 6,120 SF (29.0%)

PAVING AREA (EXIST): 2,522 SF (11.9%)

PAVING AREA (PROP): 6,174 SF (29.2%)

GREEN SPACE: 6,325 SF (29.9%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.49 ACRES

24.5 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 67

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 21,150 SF (100%)

BUILDING AREA: 6,120 SF (28.9%)

PAVING AREA (PROP): 6,485 SF (30.7%)

GREEN SPACE: 8,545 SF (40.4%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.49 ACRES

24.5 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 59

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 19,016 SF (100%)

BUILDING AREA: 6,120 SF (32.2%)

PAVING AREA (PROP): 6,984 SF (36.7%)

GREEN SPACE: 5,912 SF (31.1%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.44 ACRES

27.3 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 62

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 24,040 SF (100%)

BUILDING AREA: 6,120 SF (25.5%)

PAVING AREA (PROP): 5,948 SF (24.7%)

GREEN SPACE: 11,972 SF (49.8%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.55 ACRES

21.8 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 65

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 21,144 SF (100%)

BUILDING AREA: 6,120 SF (28.9%)

PAVING AREA (EXIST): 969 SF (4.6%)

PAVING AREA (PROP): 6,678 SF (31.6%)

GREEN SPACE: 7,377 SF (34.9%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.49 ACRES

24.5 DWELLING UNITS PER ACRE

#### DEVELOPMENT CHARACTERISTICS LOT 68

ZONING: OPD-LOTUS HILL SOUTH

**LOT CHARACTERISTICS**

LOT AREA: 22,141 SF (100%)

BUILDING AREA: 6,120 SF (27.6%)

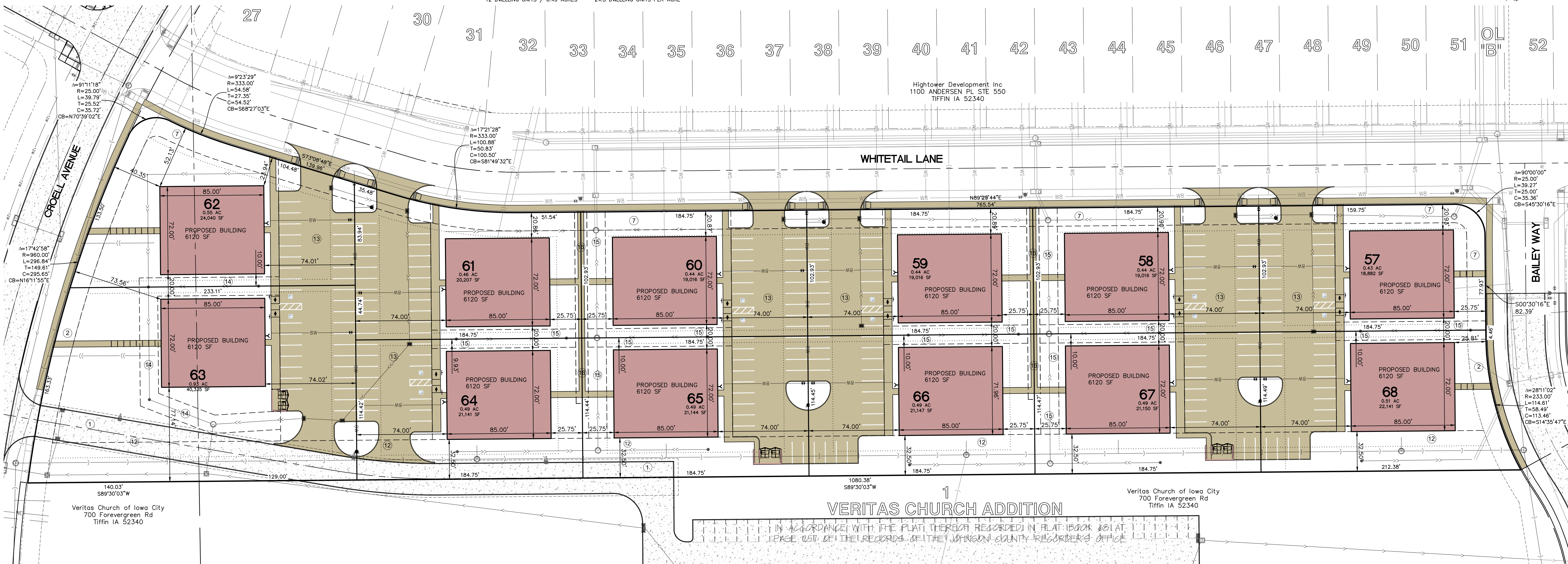
PAVING AREA (PROP): 6,485 SF (29.3%)

GREEN SPACE: 9,536 SF (43.1%)

**DENSITY CHARACTERISTICS:**

12 DWELLING UNITS / 0.51 ACRES

23.5 DWELLING UNITS PER ACRE



### OVERALL LAYOUT PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
①	EXISTING 30' ACCESS EASEMENT
②	EXISTING 15' PUBLIC UTILITY EASEMENT
③	15.00 FOOT WIDE PUBLIC UTILITY EASEMENT
④	32.50 FOOT WIDE WATER, SANITARY SEWER, AND STORM SEWER EASEMENT
⑤	PRIVATE ACCESS AND UTILITY EASEMENT
⑬	15.00 FOOT PRIVATE STORM SEWER EASEMENT
⑭	15.00 FOOT WIDE PRIVATE STORM SEWER EASEMENT (CENTERED)
⑮	10.00 FOOT WIDE PRIVATE ACCESS EASEMENT (CENTERED)

**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIM FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

**IOWA ONE CALL**

I hereby certify that this engineering document was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Iowa.

RACHEL A. NARDONE  
P.E. Iowa Lic. No. 28072

DATE: 05/18/2026

DESIGNED BY: RAN

DRAWN BY: TAV

CHECKED BY: RAN

PROJECT NO: C120

6385-084

MMS CONSULTANTS, INC.

Date: 05/18/2026

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APPLICANT:  
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APPLICANT'S ATTORNEY:  
MATTHEW J. HEKTOEN  
SIMMONS PERRINE MOYER BERGMAN PLC  
115 3RD STREET SE, SUITE 1200  
CEDAR RAPIDS, IA 52401

NUMBER	KEYNOTE	DETAIL
1	GRIND EXISTING CURB. CONNECT TO EXISTING PAVEMENT WITH BT-5 JOINT.	SUDAS 700.101
2	INSTALL PARKING (THICKNESS AND MATERIALS AS NOTED).	8 CS01
3	INSTALL DRIVE (THICKNESS AND MATERIALS AS NOTED).	8 CS01
4	INSTALL DUMPSTER ENCLOSURE	10 CS01
5	INSTALL 6" STANDARD CURB.	5 CS01
6	INSTALL THICKENED EDGE SIDEWALK.	6 CS01
7	INSTALL P.C.C. SIDEWALK PER SUDAS.	9 CS01
8	INSTALL ACCESSIBLE CURB RAMP.	11 CS01
9	INSTALL ACCESSIBLE CURB DROP.	7 CS01
10	INSTALL ACCESSIBLE SIGN.	3 CS01
11	INSTALL ACCESSIBLE PARKING SYMBOL.	4 CS01
12	INSTALL 4" WIDE PAINTED PARKING STRIPING.	
13	INSTALL CONCRETE STEPS	

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**PAVING LEGEND**

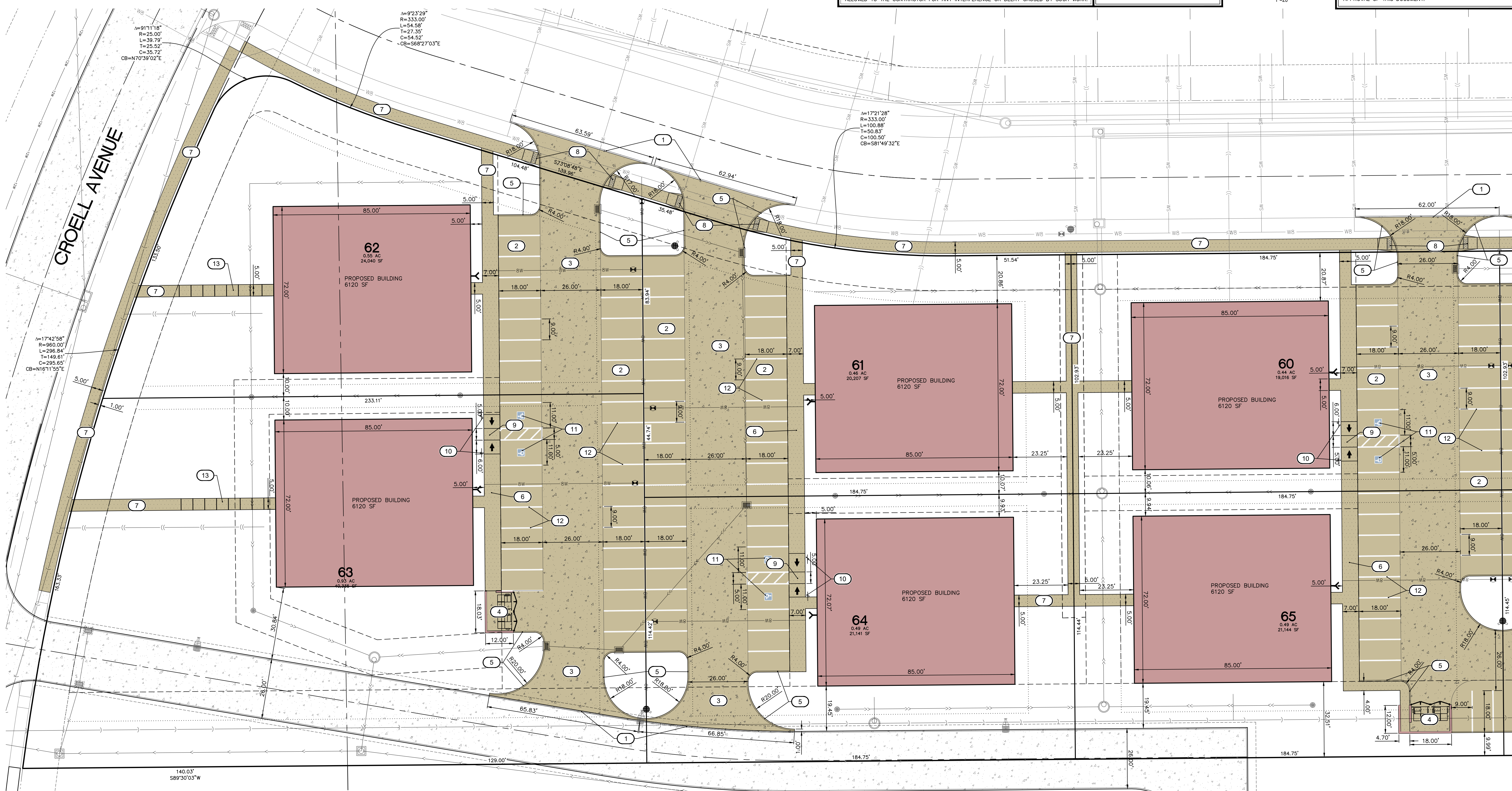
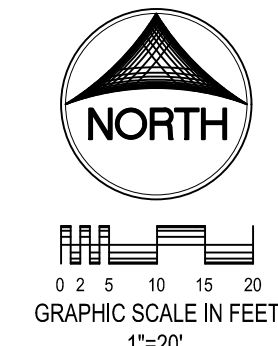
MATERIAL USE	DESCRIPTION
	7" PCC PAVING ON 6" ROCK BASE (4,209 SY)
	5" PCC PAVING ON 4" ROCK BASE (4,010 SY)
	4" PCC SIDEWALK (1,865 SY)

NOTE: THESE QUANTITIES TAKE INTO ACCOUNT ALL AREAS SHOWN ON THIS PLAN SET (INCLUDING WORK WITHIN RIGHT OF WAYS AND ON ADJACENT PROPERTIES)

**STANDARD LEGEND AND NOTES**

	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
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	LOT LINES, INTERNAL
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	POWER POLE
	POWER POLE W/DROP
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	FIRE HYDRANT
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	DRAINAGE MANHOLE
	CURB INLET
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	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
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	PROPOSED WATER LINES
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	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



Date	Revision

## SITE DIMENSION LAYOUT PLAN WEST HALF

LOTUS HILL SOUTH  
TIFFIN JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 05/18/2026

Designed by: RAN Field Book No:

Drawn by: TAV Scale: 1"=20'

Checked by: RAN Sheet No:

Project No: C121

6385-084 of:



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

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APPLICANT: HIGHTOWER DEVELOPMENT, INC PO BOX 5198 CORALVILLE, IA 52241

APPLICANT'S ATTORNEY: MATTHEW J. HEKTOEN SIMMONS PERRINE MOYER BERGMAN PLC 115 3RD STREET SE, SUITE 1200 CEDAR RAPIDS, IA 52401

NUMBER	KEYNOTE	DETAIL
1	GRIND EXISTING CURB. CONNECT TO EXISTING PAVEMENT WITH BT-S JOINT.	SUDAS 7010.101
2	INSTALL PARKING (THICKNESS AND MATERIALS AS NOTED).	8 C501
3	INSTALL DRIVE (THICKNESS AND MATERIALS AS NOTED).	8 C501
4	INSTALL DUMPSTER ENCLOSURE	10 C501
5	INSTALL 6" STANDARD CURB.	5 C501
6	INSTALL THICKENED EDGE SIDEWALK.	6 C501
7	INSTALL P.C.C. SIDEWALK PER SUDAS.	8 C501
8	INSTALL ACCESSIBLE CURB RAMP.	11 C501
9	INSTALL ACCESSIBLE CURB DROP.	7 C501
10	INSTALL ACCESSIBLE SIGN.	3 C501
11	INSTALL ACCESSIBLE PARKING SYMBOL.	4 C501
12	INSTALL 4" WIDE PAINTED PARKING STRIPING.	
13	INSTALL CONCRETE STEPS	

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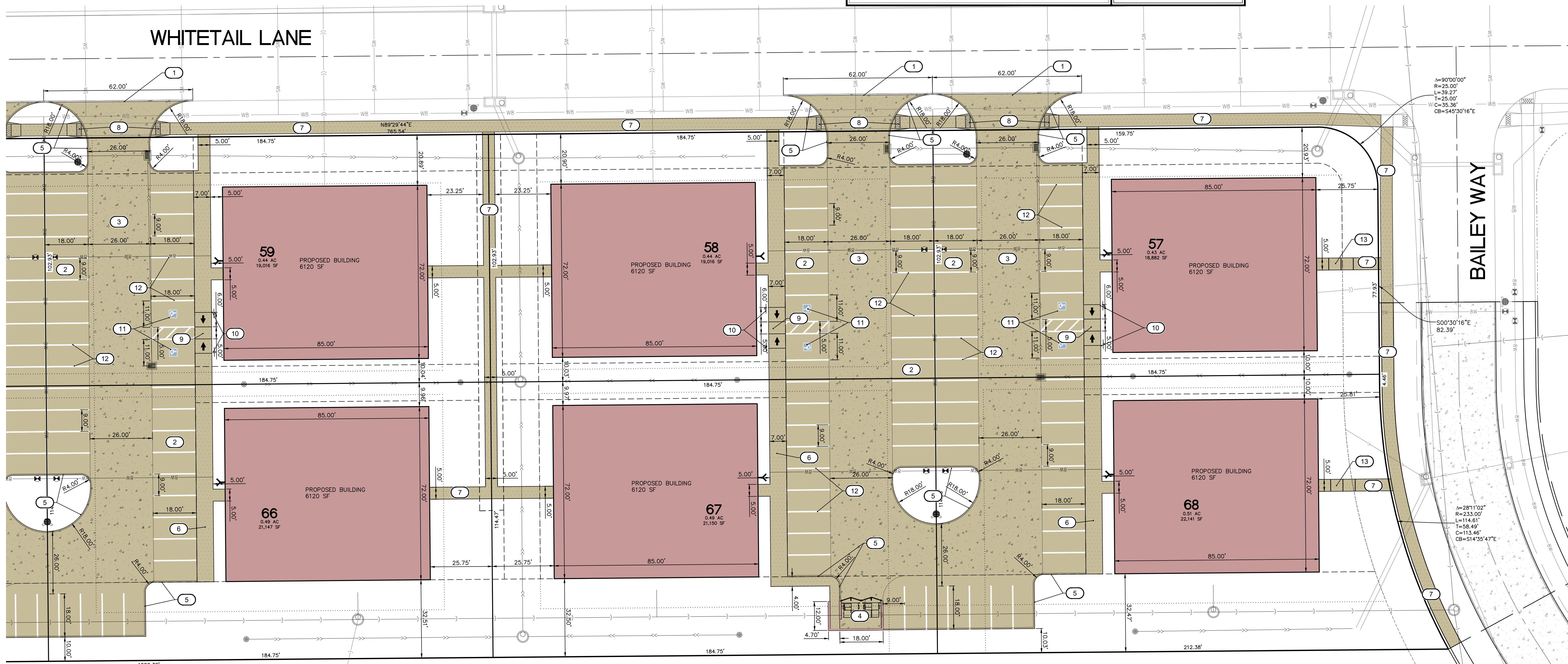
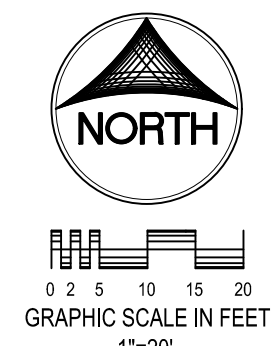
MATERIAL USE	SYMBOL
7" PCC PAVING ON 6" ROCK BASE (4,209 SY)	[Pattern]
5" PCC PAVING ON 4" ROCK BASE (4,010 SY)	[Pattern]
4" PCC SIDEWALK (1,865 SY)	[Pattern]

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[Symbol]	PROPERTY &/or BOUNDARY LINES
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[Symbol]	POWER POLE W/TRANS
[Symbol]	POWER POLE W/LIGHT
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Date	Revision

**SITE DIMENSION LAYOUT PLAN EAST HALF**

LOTUS HILL SOUTH  
TIFFIN JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 05/18/2026

Designed by: RAN Field Book No:

Drawn by: TAV Scale: 1"=20'

Checked by: RAN Sheet No:

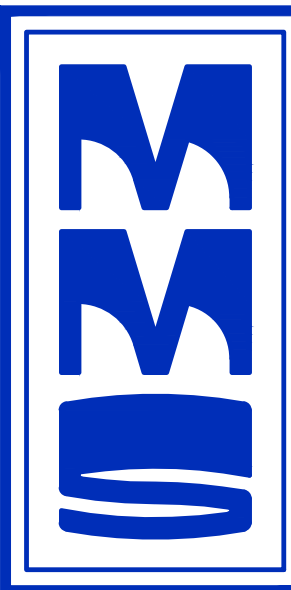
Project No: C122

6385-084 of:

## 1 VERITAS CHURCH ADDITION

Veritas Church of Iowa City  
700 Forevergreen Rd  
Tiffin IA 52340

ACCORDANCE WITH THE PLAT THEREOF RECORDED IN PLAT BOOK 68 AT



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date Revision

**STANDARD LEGEND AND NOTES**

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	EXISTING POWER POLE
---	PROPOSED POWER POLE
---	EXISTING POWER POLE W/DROP
---	PROPOSED POWER POLE W/DROP
---	EXISTING POWER POLE W/TRANS
---	PROPOSED POWER POLE W/TRANS
---	GUY POLE
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING WATER LINES
---	PROPOSED WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREE & SHRUB

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF TIFFIN REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

**STABILIZATION SEEDING**

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATION SECTION 2601.03 STABILIZING CROP SEEDING AND FERTILIZING.

SEED MIXTURES SHALL BE ONE OF THE FOLLOWING:

SPRING - MARCH 1 TO MAY 20	OAT	2 BUSHEL PER ACRE
	GRAIN RYE	25 LBS. PER ACRE
	RED CLOVER	5 LBS. PER ACRE
	TIMOTHY	5 LBS. PER ACRE
SUMMER - MAY 21 TO JULY 20	OAT	3 BUSHEL PER ACRE
	GRAIN RYE	35 LBS. PER ACRE
	RED CLOVER	5 LBS. PER ACRE
	TIMOTHY	5 LBS. PER ACRE
FALL - JULY 21 TO SEPTEMBER 30	OAT	2 BUSHEL PER ACRE
	GRAIN RYE	35 LBS. PER ACRE
	RED CLOVER	5 LBS. PER ACRE
	TIMOTHY	5 LBS. PER ACRE

FERTILIZER SHALL BE APPLIED AT A RATE OF 450 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER.

**GRADING AND EROSION CONTROL NOTES**

TOTAL SITE AREA: 3.37 ACRES  
TOTAL AREA TO BE DISTURBED: 3.37 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ENGINEER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8999 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

**IOWA ONE CALL**

**NORTH**

0 4 10 20 30 40  
GRAPHIC SCALE IN FEET  
1"=40'

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

OWNER: HIGHTOWER DEVELOPMENT, INC PO BOX 5198 CORALVILLE, IA 52241

APPLICANT: HIGHTOWER DEVELOPMENT, INC PO BOX 5198 CORALVILLE, IA 52241

APPLICANTS ATTORNEY: MATTHEW J. HEKTOEN SIMMONS PERRINE MOYER BERGMAN PLC 115 3RD STREET SE, SUITE 1200 CEDAR RAPIDS, IA 52401

**SILT FENCE DETAIL**

**INSTALLATION**

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL OUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
- FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

**MAINTENANCE**

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN - FALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

**EROSION CONTROL LEGEND**

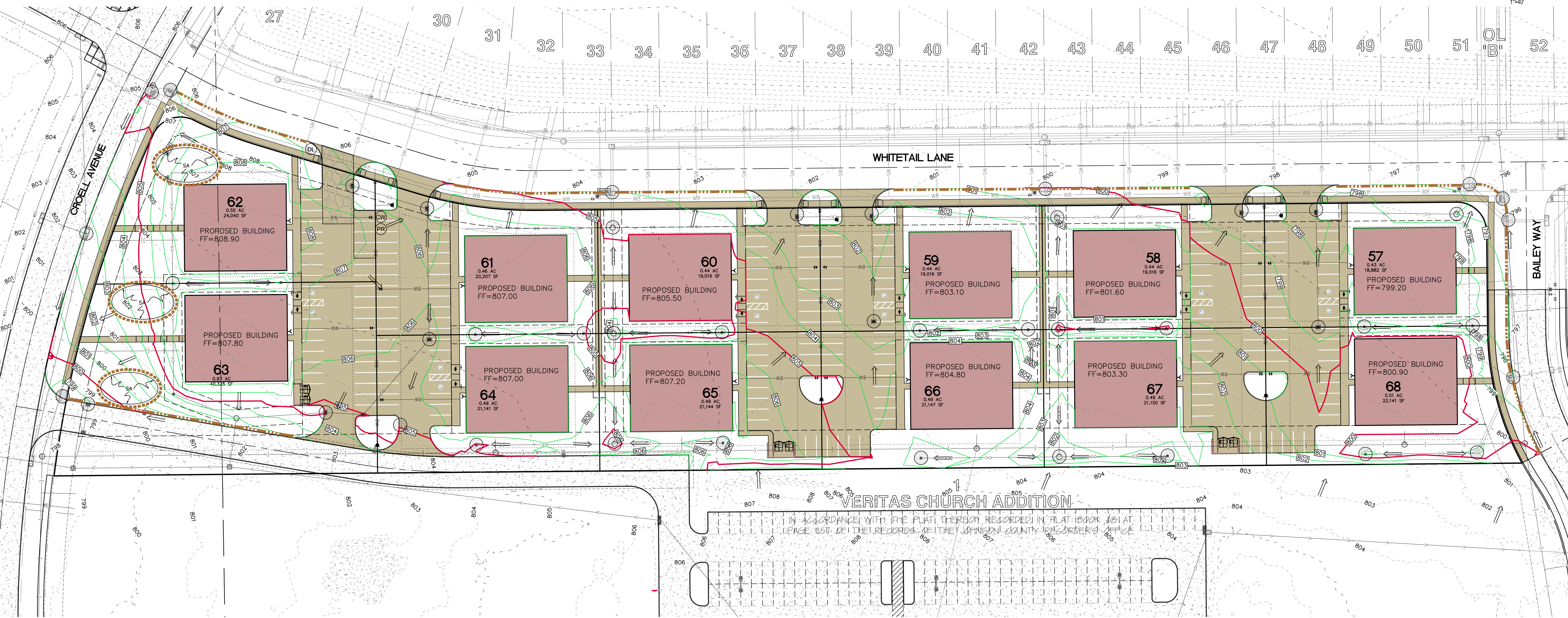
---	SILT FENCE/FILTER SOCK
---	PERIMETER SILT FENCE
---	EROSION CONTROL MATTING
---	NORTH AMERICAN GREEN VMAX PERMANENT TURF REINFORCEMENT OR APPROX. EQUAL
---	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
---	TEMPORARY PARKING AND STORAGE
---	CONCRETE TRUCK/EQUIPMENT WASHOUT
---	PORTABLE RESTROOM
---	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
---	TEMPORARY SOIL STOCKPILE AREA
---	DIRECTION OF OVERLAND FLOW
---	DUMPSTER FOR CONSTRUCTION WASTE
---	RIP RAP OUTLET PROTECTION
---	OTHER MEASURE:
---	FILTER SOCK INLET PROTECTION
---	FILTER SOCK BEHIND CURB AT CURB RAMP

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE SPACES LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL, CAN BE FOUND IN APPENDIX D OF THE SWPPP.

**GRADING NOTES**

- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3: HORIZONTAL TO 1: VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 95% MODIFIED STANDARD PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF TIFFIN DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.
- CONTRACTOR SHALL STRIP, STOCKPILE, AND RESPEAD TOPSOIL PRIOR TO FINAL SEEDING. A MINIMUM OF 4" OF TOPSOIL MUST BE RESPEAD OVER ALL UNPAVED AREAS.
- ALL CONSTRUCTION MUST BE COMPLETED ACCORDING TO THE REQUIREMENTS OF THE CURRENT NPDES PERMIT FOR THE PROJECT.

- C120 OVERALL LAYOUT PLAN
- C121 SITE DIMENSION LAYOUT PLAN WEST
- C122 SITE DIMENSION LAYOUT PLAN EAST
- C140 OVERALL GRADING, EROSION CONTROL, AND SWPPP
- C141 DETAILED GRADING PLAN
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- L100 LANDSCAPE PLAN



OVERALL GRADING,  
EROSION CONTROL,  
AND SWPPP

LOTUS HILL  
SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

**MMS CONSULTANTS, INC.**

Date: 05/18/2026

Designed by: RAN Field Book No:

Drawn by: TAV Scale: 1"=40'

Checked by: RAN Sheet No:

Project No: C140

6385-084 of:



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

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Date	Revision

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### STANDARD LEGEND AND NOTES

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	PROPOSED EASEMENT LINES
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	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER

	EXIST- POWER POLE		PROP- POWER POLE
	EXIST- POWER POLE W/DRROP		PROP- POWER POLE W/DRROP
	EXIST- POWER POLE W/TRANS		PROP- POWER POLE W/TRANS
	EXIST- GUY POLE		PROP- GUY POLE
	EXIST- LIGHT POLE		PROP- LIGHT POLE
	EXIST- SANITARY MANHOLE		PROP- SANITARY MANHOLE
	EXIST- FIRE HYDRANT		PROP- FIRE HYDRANT
	EXIST- WATER VALVE		PROP- WATER VALVE
	EXIST- DRAINAGE MANHOLE		PROP- DRAINAGE MANHOLE
	EXIST- CURB INLET		PROP- CURB INLET
	EXIST- FENCE LINE		PROP- FENCE LINE
	EXIST- SANITARY SEWER		PROP- SANITARY SEWER
	EXIST- STORM SEWER		PROP- STORM SEWER
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	CONTOUR LINES (1' INTERVAL)		PROPOSED GROUND
	EXISTING TREE LINE		EXISTING DECIDUOUS TREE & SHRUB
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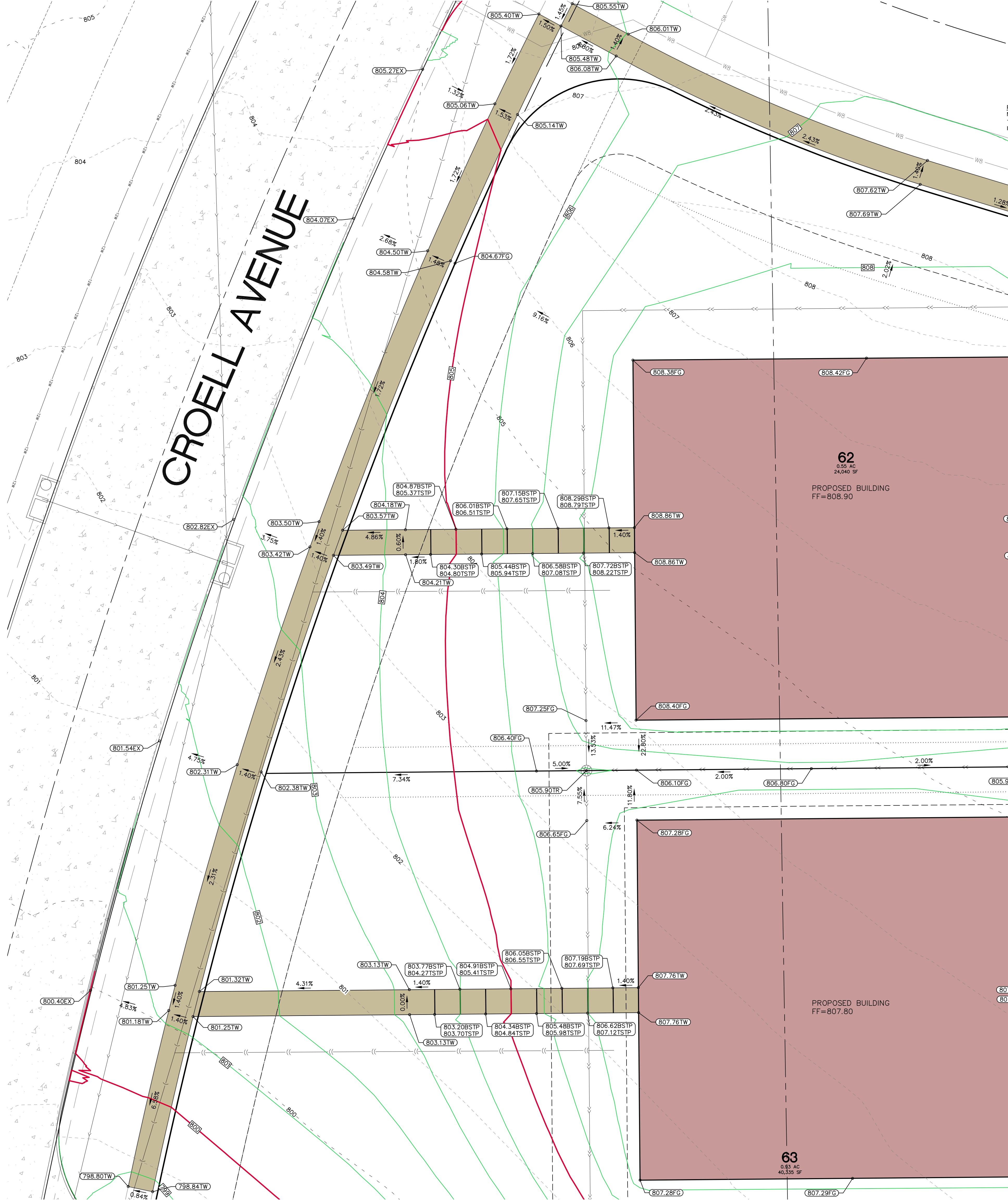
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	EXISTING SURFACE
	FINISH GRADE
	TOP SLAB
	TOP WALK
	TOP CURB
	TOP RIM
	FG AT TOP WALL
	FG AT BOTTOM WALL
	TOP OF STEPS
	BOTTOM OF STEPS

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## DETAILED GRADING PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

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MMS CONSULTANTS, INC.  
Date: 05/18/2026  
Designed by: RAN  
Drawn by: TAV  
Checked by: RAN  
Project No: 6385-084

Field Book No:  
Scale: 1"=10'  
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C141  
of:

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

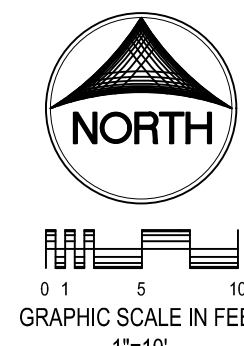
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### GRADING LEGEND

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- 000.00TP = TOP OF STEPS
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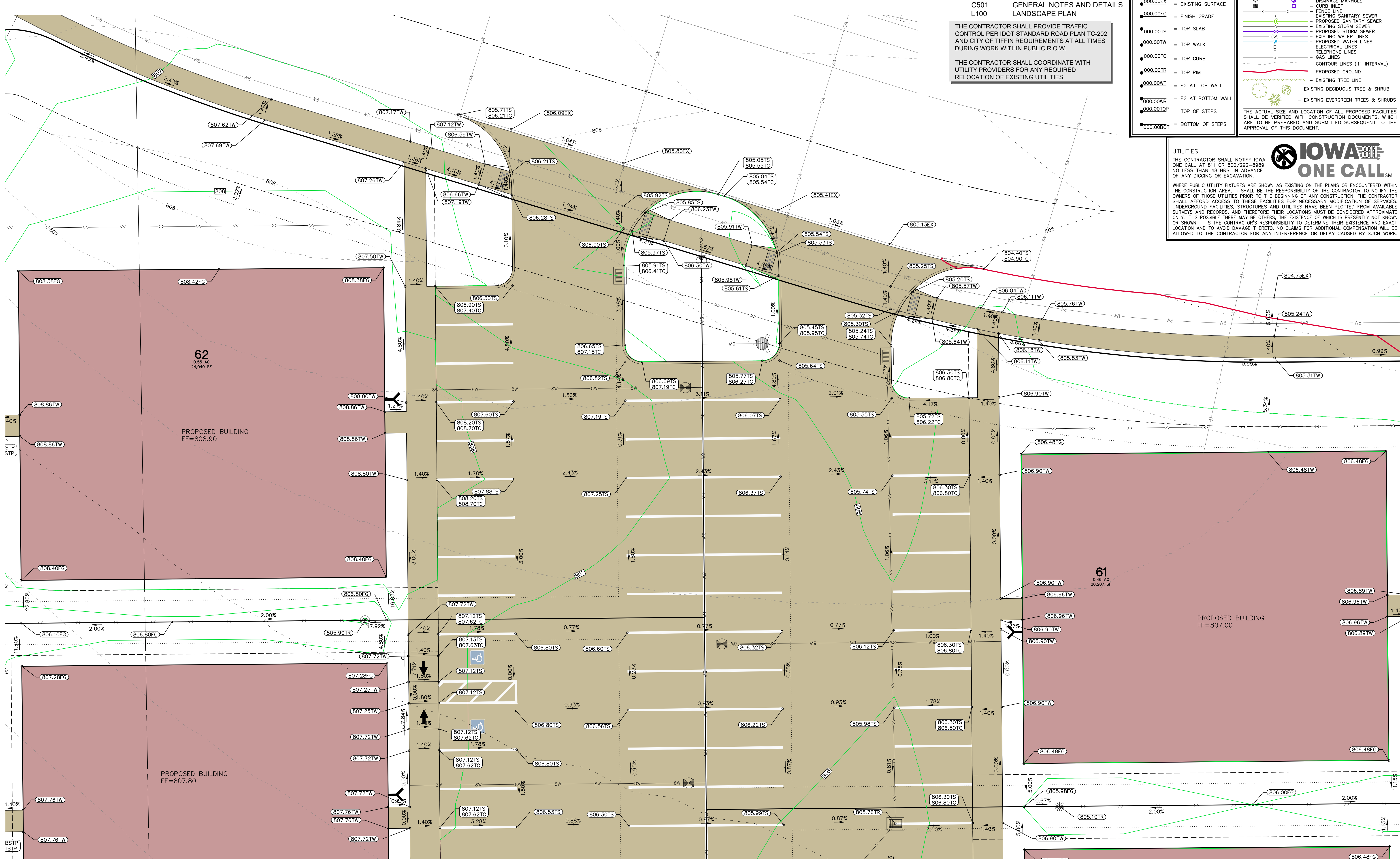
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TIFFIN  
JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 05/18/2026

Designed by: RAN Field Book No:

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**C142**

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# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

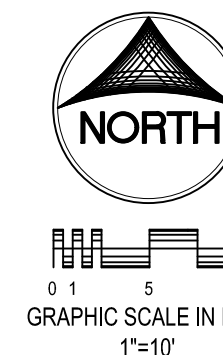
PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER:  
HIGHTOWER DEVELOPMENT, INC  
PO BOX 5198  
CORALVILLE, IA 52241

APPLICANT:  
HIGHTOWER DEVELOPMENT, INC  
PO BOX 5198  
CORALVILLE, IA 52241

APPLICANT'S ATTORNEY:  
MATTHEW J. HEKTOEN  
SIMMONS PERRINE MOYER BERGMAN PLC  
115 3RD STREET SE, SUITE 1200  
CEDAR RAPIDS, IA 52401

- C120 OVERALL LAYOUT PLAN
- C121 SITE DIMENSION LAYOUT PLAN WEST
- C122 SITE DIMENSION LAYOUT PLAN EAST
- C140 OVERALL GRADING, EROSION CONTROL, AND SWPPP
- C141 DETAILED GRADING PLAN
- C142 DETAILED GRADING PLAN
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- L100 LANDSCAPE PLAN



### STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

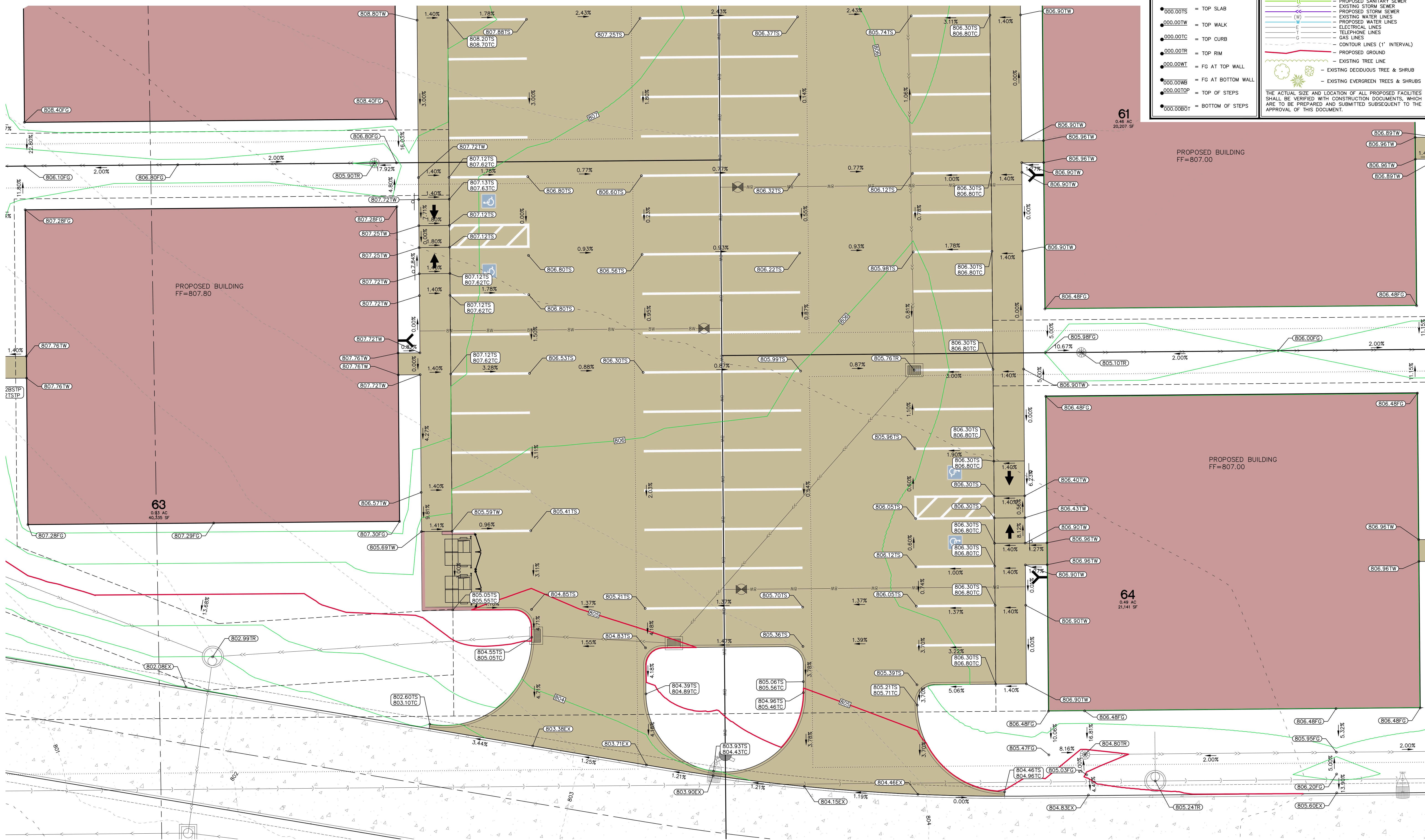
### GRADING LEGEND

- 000.00EX = EXISTING SURFACE
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THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS  
1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net



Date	Revision

### DETAILED GRADING PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.  
Date: 05/18/2026  
Designed by: RAN Field Book No:  
Drawn by: TAV Scale: 1"=10'  
Checked by: RAN Sheet No:  
Project No: C143  
6385-084 of:

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

OWNER: HIGHTOWER DEVELOPMENT, INC  
CORALVILLE, IA 52241

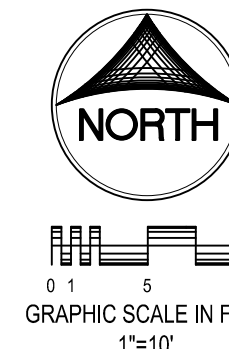
APPLICANT: HIGHTOWER DEVELOPMENT, INC  
CORALVILLE, IA 52241

PLAT PREPARED BY: MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
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APPLICANT'S ATTORNEY: MATTHEW J. HEKTOEN  
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115 3RD STREET SE, SUITE 1200  
CEDAR RAPIDS, IA 52401

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  - LOT LINES, PLATTED OR BY DEED
  - PROPOSED EASEMENT LINES
  - EXISTING EASEMENT LINES
  - BENCHMARK
  - RECORDED DIMENSIONS
  - CURVE SEGMENT NUMBER
- 22-1
- EXIST- POWER POLE
  - EXIST- POWER POLE W/DROP
  - EXIST- POWER POLE W/TRANS
  - EXIST- POWER POLE W/LIGHT
  - EXIST- GUY POLE
  - EXIST- LIGHT POLE
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  - EXIST- PROPOSED STORM SEWER
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CIVIL ENGINEERS  
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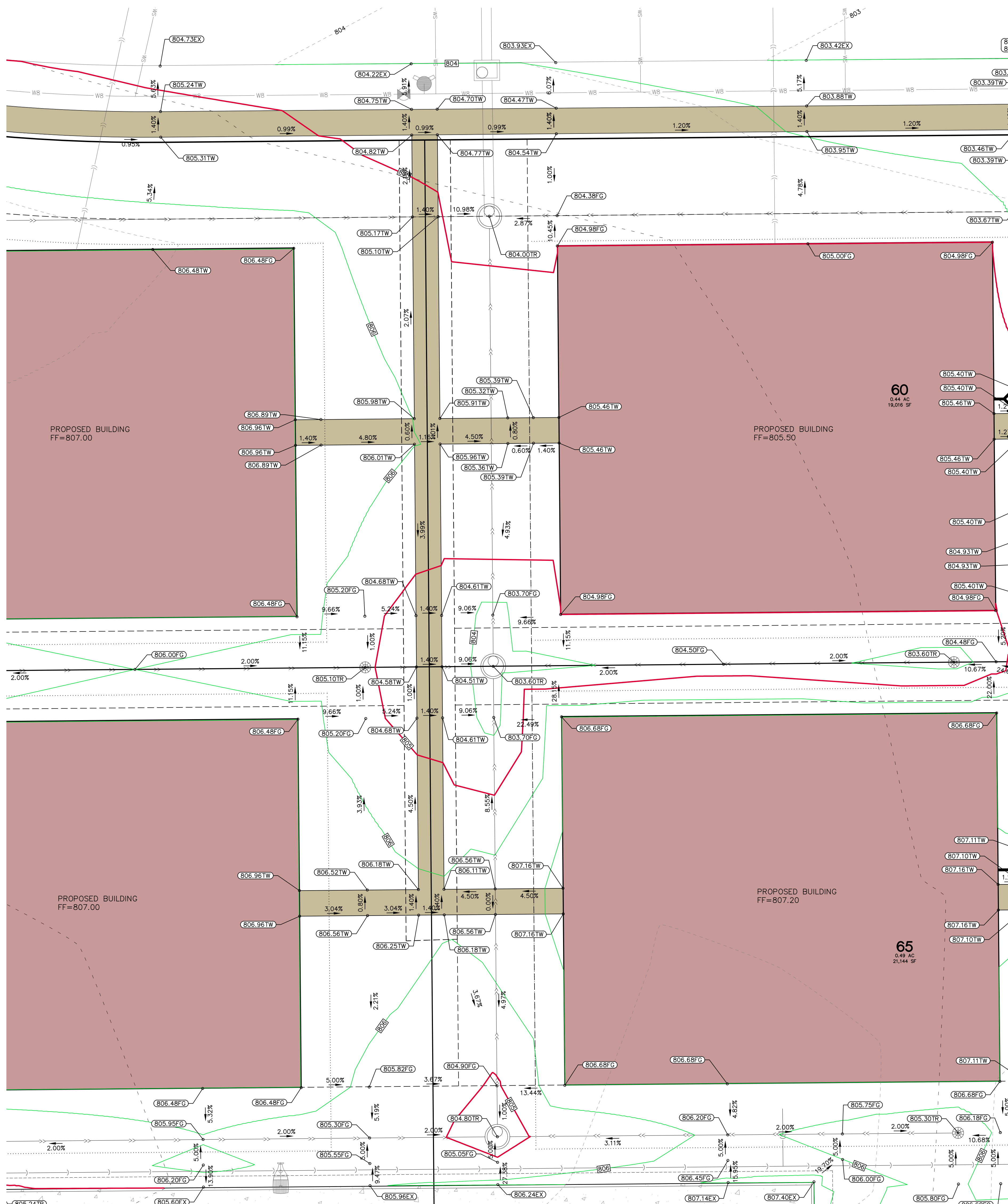
1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date	Revision

### DETAILED GRADING PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.  
Date: 05/18/2026  
Designed by: RAN Field Book No:  
Drawn by: TAV Scale: 1"=10'  
Checked by: RAN Sheet No:  
Project No: 6385-084 of: **C144**



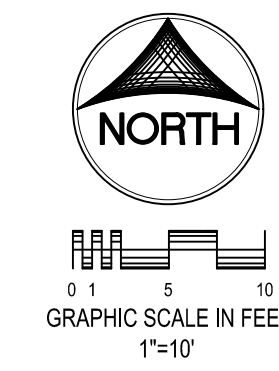
# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

PLAT PREPARED BY: MMS CONSULTANTS, INC.  
1917 S. GILBERT STREET  
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OWNER: HIGHTOWER DEVELOPMENT, INC.  
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SIMMONS FERRINE MOYER  
BERGMAN P.C.  
115 3RD STREET SE, SUITE 1200  
CEDAR RAPIDS, IA 52401



STANDARD LEGEND AND NOTES	
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	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
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	POWER POLE W/LIGHT
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
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	PROPOSED STORM SEWER
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GRADING LEGEND	
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	TOP WALK
	TOP CURB
	TOP RIM
	FG AT TOP WALL
	FG AT BOTTOM WALL
	TOP OF STEPS
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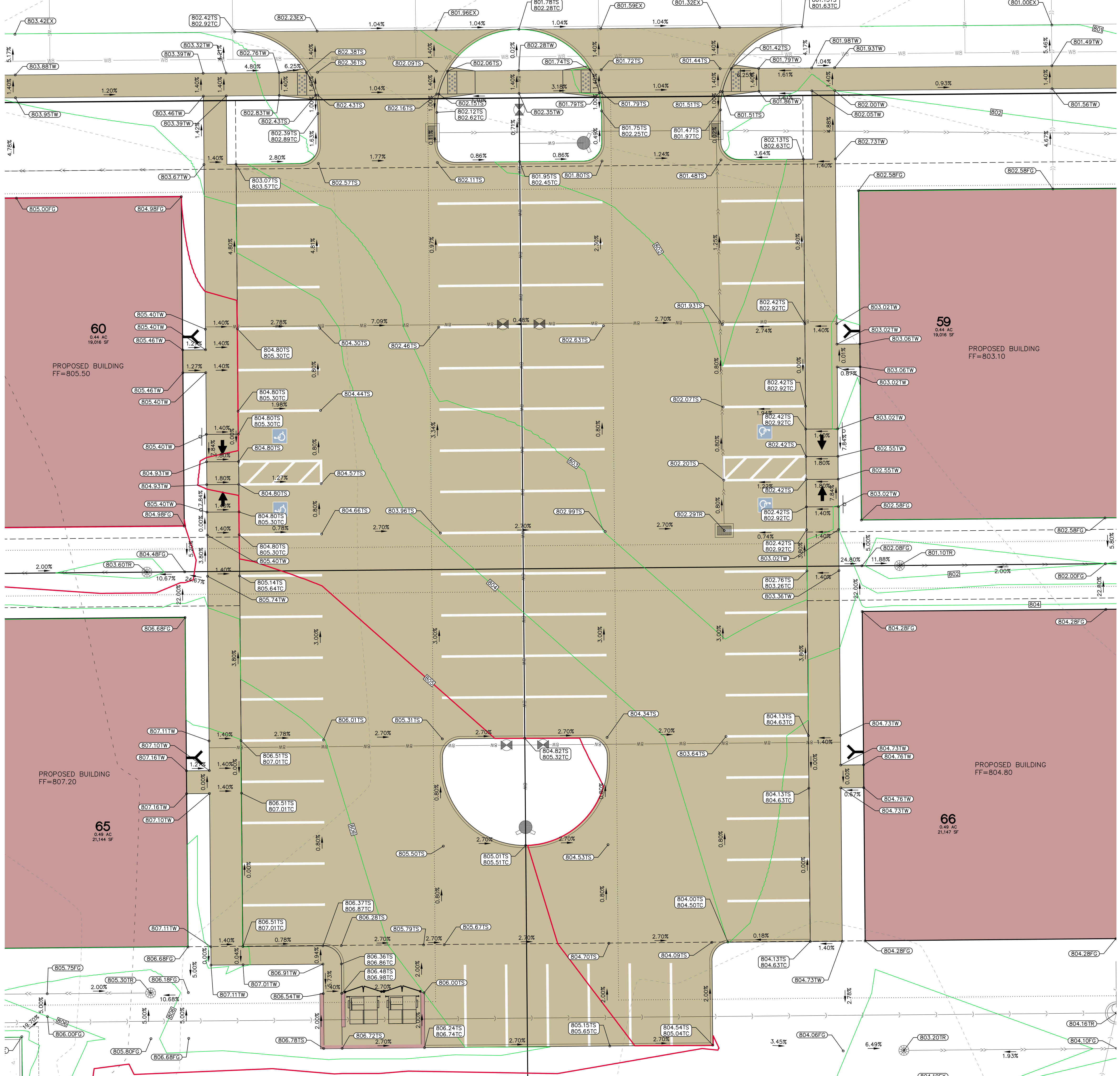
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CIVIL ENGINEERS  
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LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

Date	Revision

## DETAILED GRADING PLAN

LOTUS HILL SOUTH  
TIFFIN JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 05/18/2026

Designed by: RAN Field Book No:

Drawn by: TAV Scale: 1"=10'

Checked by: RAN Sheet No:

Project No: 6385-084

**C145**

of:

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

OWNER: HIGHTOWER DEVELOPMENT, INC. PO BOX 5198 CORALVILLE, IA 52241

APPLICANT: HIGHTOWER DEVELOPMENT, INC. PO BOX 5198 CORALVILLE, IA 52241

APPLICANT'S ATTORNEY: MATTHEW J. HEKTOEN SIMMONS FERRINE MOYER BERGMAN P.C. 115 3RD STREET SE, SUITE 1200 CEDAR RAPIDS, IA 52401



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GRAPHIC SCALE IN FEET  
1"=10'

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  - CURVE SEGMENT NUMBER
- (R)  
22-1
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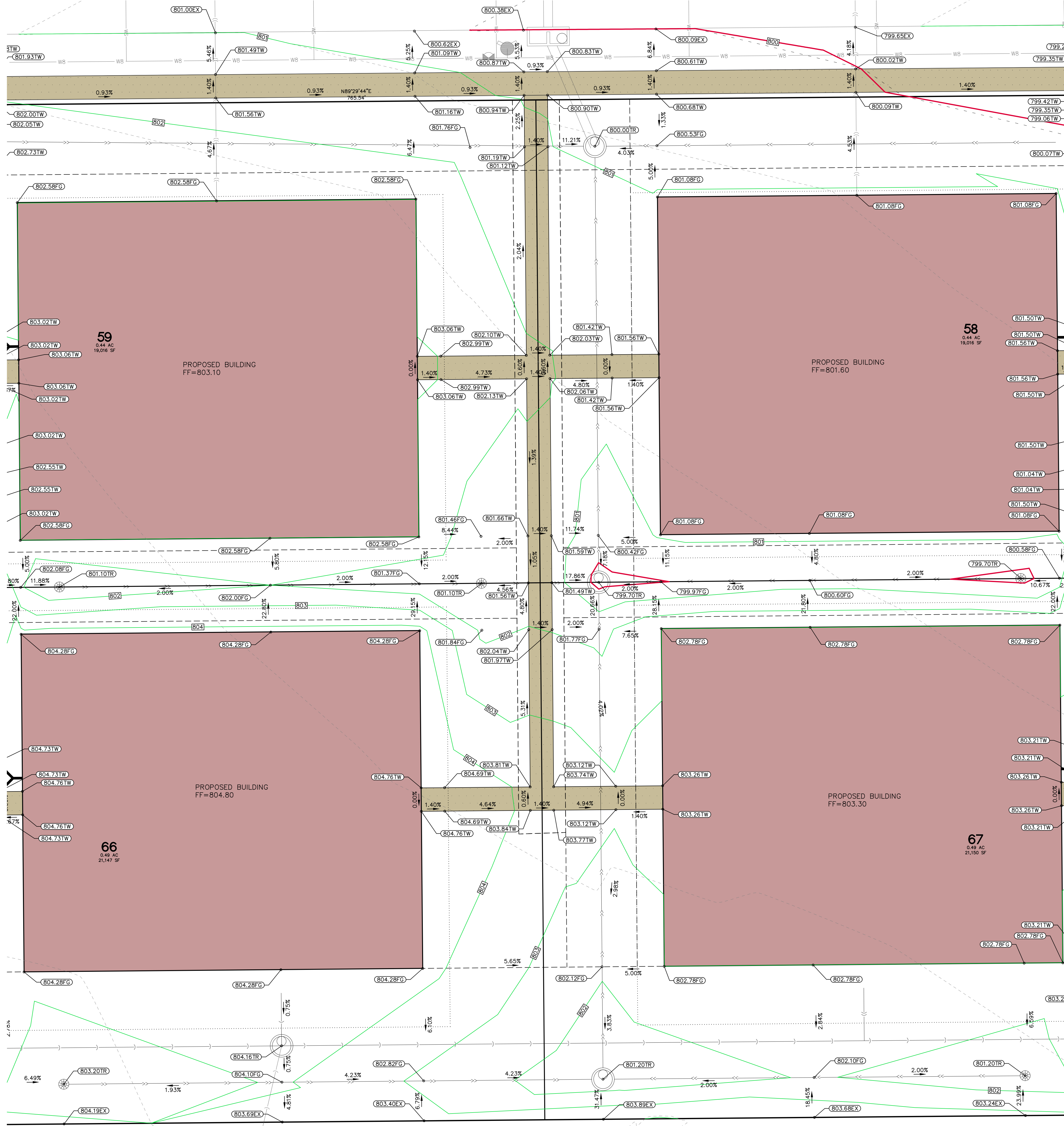
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### DETAILED GRADING PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

**IOWA ONE CALL**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/222-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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Designed by: RAN  
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Project No: 6385-084  
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Sheet No:  
**C146**  
of:

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA



CIVIL ENGINEERS  
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0 1 5 10  
GRAPHIC SCALE IN FEET  
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THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

### DETAILED GRADING PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

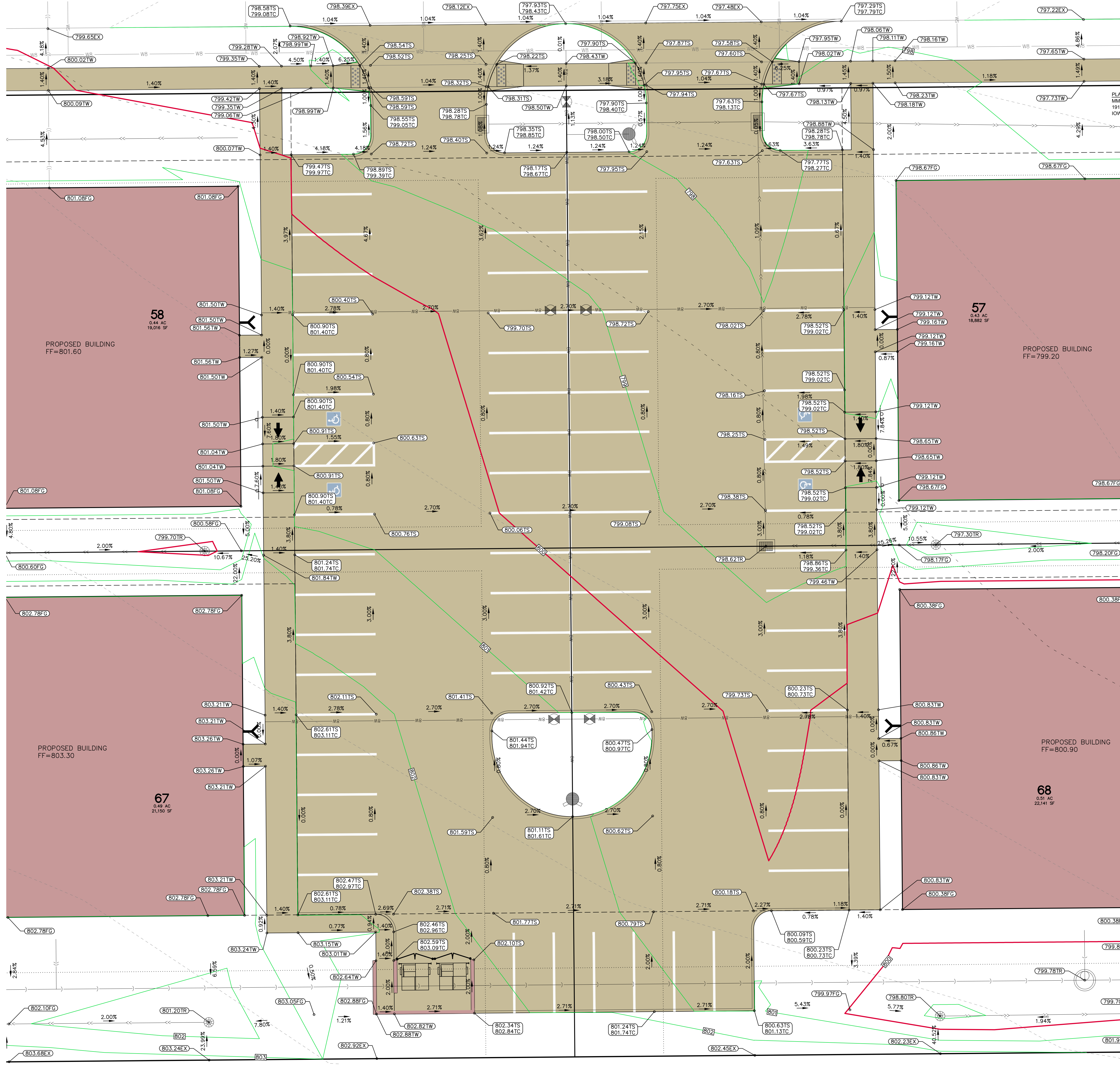
MMS CONSULTANTS, INC.  
Date: 05/18/2026  
Designed by: RAN  
Drawn by: TAV  
Checked by: RAN  
Project No: 6385-084  
Field Book No:  
Scale: 1"=10'  
Sheet No:  
**C147**  
of:

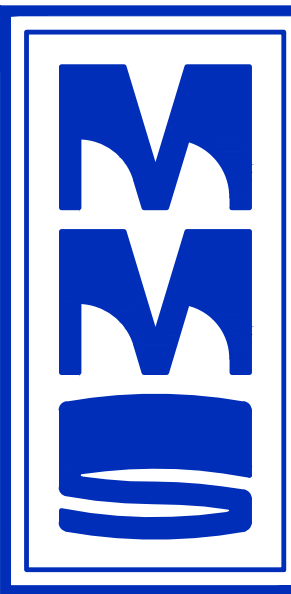
**UTILITIES**

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www.mmsconsultants.net

Date Revision

DETAILED GRADING PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 05/18/2026

Designed by: RAN Field Book No:

Drawn by: TAV Scale: 1"=10'

Checked by: RAN Sheet No:

Project No: C144

6385-084 of:

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
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APPLICANT:  
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APPLICANT'S ATTORNEY:  
MATTHEW J. HEKTOEN  
SIMMONS PERRINE MOYER  
BERGMAN PLC  
115 3RD STREET SE, SUITE 1200  
CEDAR RAPIDS, IA 52401



GRAPHIC SCALE IN FEET  
1"=10'

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### STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
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- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

22-1

- EXIST- POWER POLE
- EXIST- FIRE HYDRANT
- EXIST- WATER VALVE
- EXIST- DRAINAGE MANHOLE
- EXIST- CURB INLET
- EXIST- FENCE LINE
- EXIST- EXISTING SANITARY SEWER
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- EXIST- EXISTING WATER LINES
- EXIST- ELECTRICAL LINES
- EXIST- TELEPHONE LINES
- EXIST- GAS LINES
- EXIST- CONTOUR LINES (1' INTERVAL)
- EXIST- PROPOSED GROUND
- EXIST- EXISTING TREE LINE
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- EXIST- EXISTING EVERGREEN TREES & SHRUBS

PROP- POWER POLE W/DROP

PROP- POWER POLE W/TRANS

PROP- POWER POLE W/LIGHT

PROP- GUY POLE

PROP- LIGHT POLE

PROP- SANITARY MANHOLE

PROP- FIRE HYDRANT

PROP- WATER VALVE

PROP- DRAINAGE MANHOLE

PROP- CURB INLET

PROP- FENCE LINE

PROP- PROPOSED SANITARY SEWER

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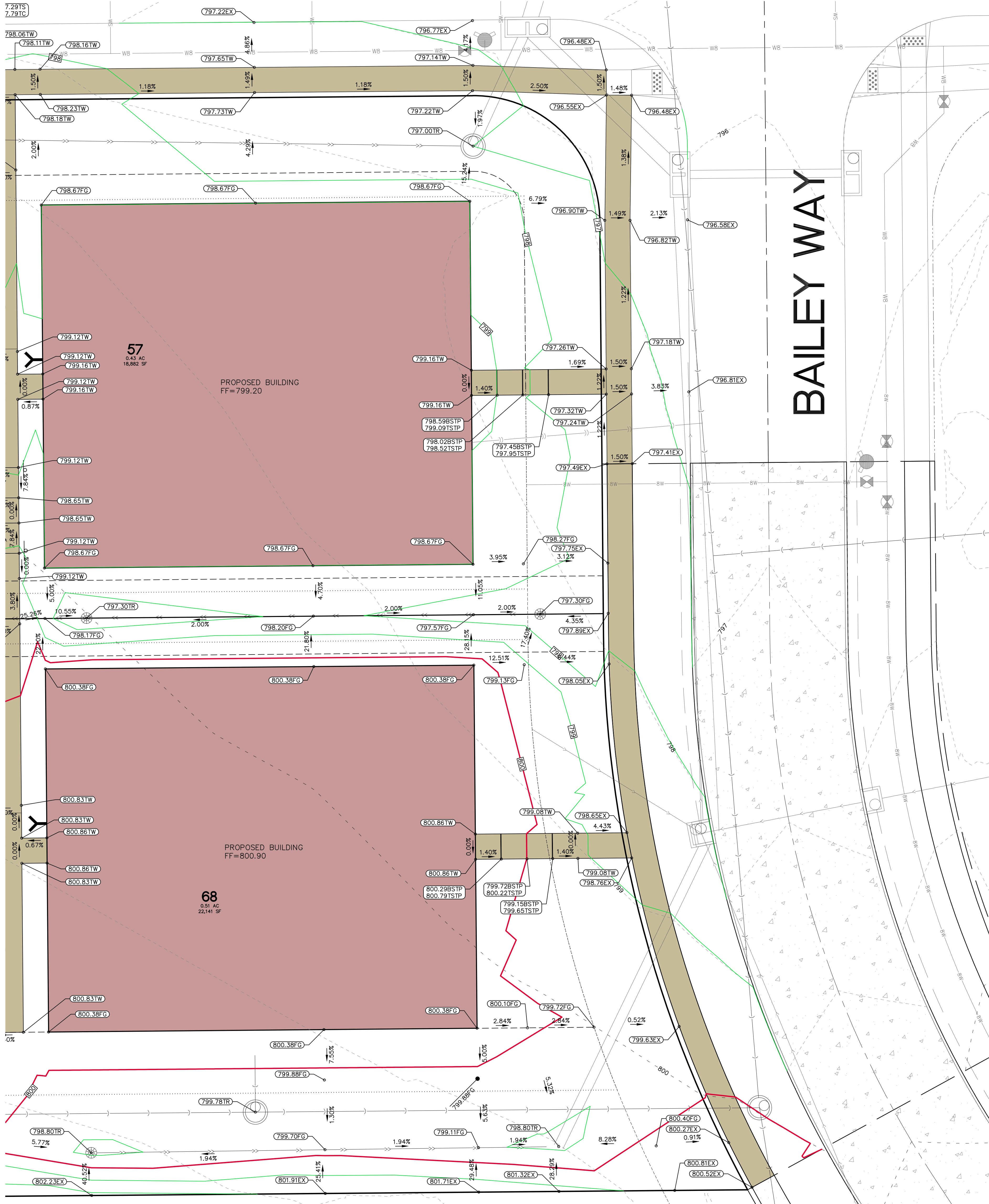
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### GRADING LEGEND

- 600.00EX = EXISTING SURFACE
- 600.00FG = FINISH GRADE
- 600.00TS = TOP SLAB
- 600.00TW = TOP WALK
- 600.00TC = TOP CURB
- 600.00TR = TOP RIM
- 600.00WT = FG AT TOP WALL
- 600.00WB = FG AT BOTTOM WALL
- 600.00TP = TOP OF STEPS
- 600.00BT = BOTTOM OF STEPS

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0:\APR\BAPR-REAR SOUTH SITE CONVENT\BAPR-REAR.dwg, 5/17/2026 10:46:07 AM, 1:1

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**PROP-**

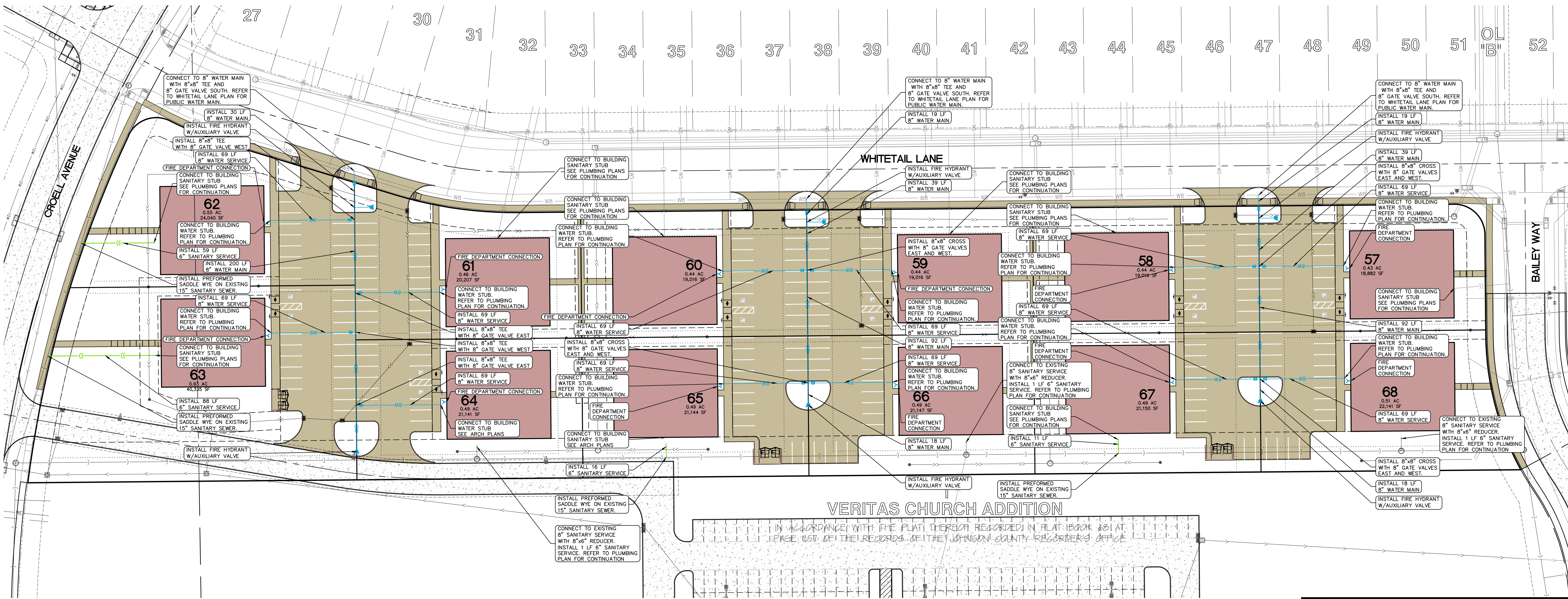
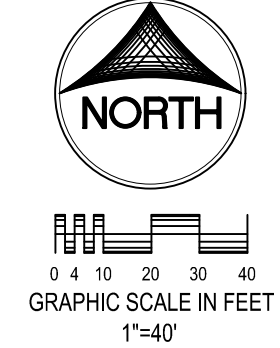
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## SANITARY SEWER AND WATERMAIN PLAN

LOTUS HILL SOUTH  
TIFFIN  
JOHNSON COUNTY  
IOWA

**UTILITIES**

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**IOWA ONE CALL**

**MMS CONSULTANTS, INC.**

Date: 05/18/2026

Designed by: RAN Field Book No:

Drawn by: TAV Scale: 1"=40'

Checked by: RAN Sheet No:

Project No: C160

6385-084 of.

# FINAL OPD SITE PLAN LOTUS HILL SOUTH TIFFIN, IOWA

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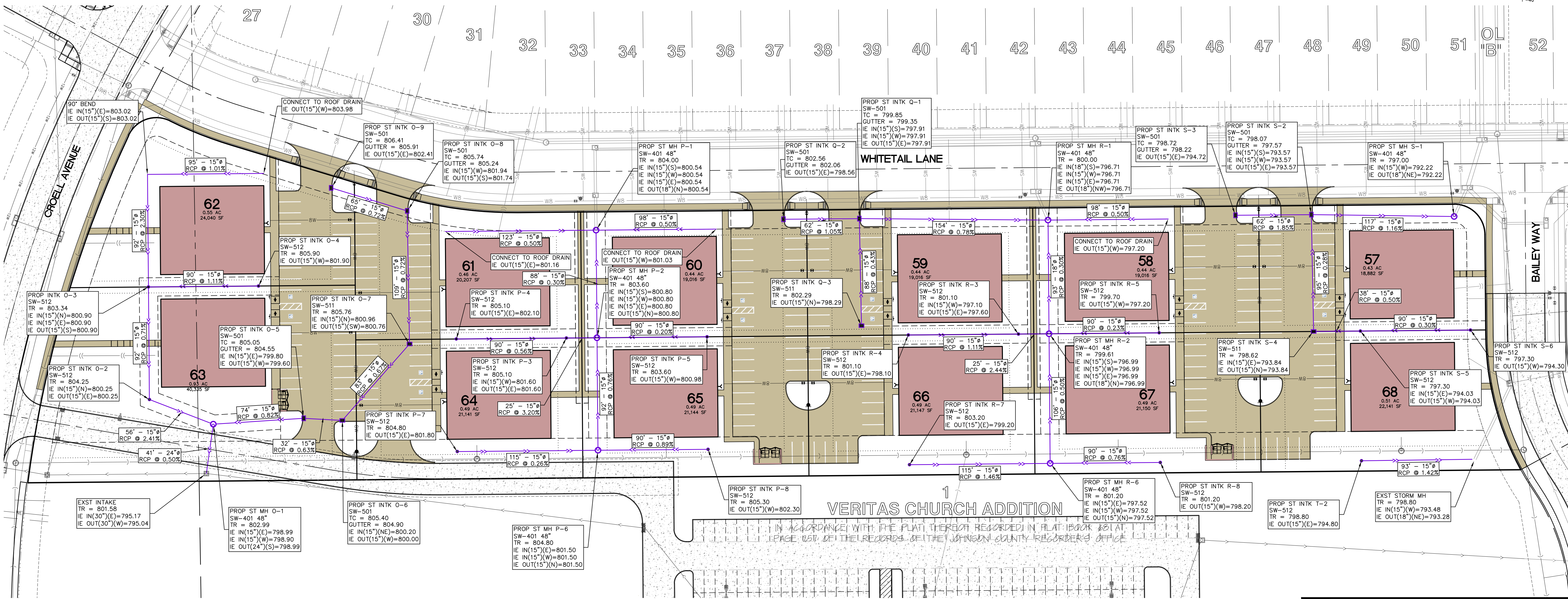
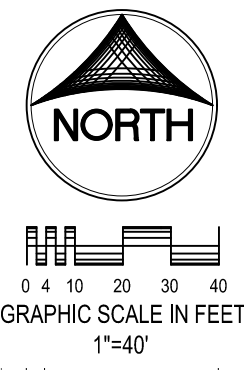
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6.13 AC



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## STORM SEWER PLAN

LOTUS HILL SOUTH  
TIFFIN JOHNSON COUNTY IOWA

**UTILITIES**



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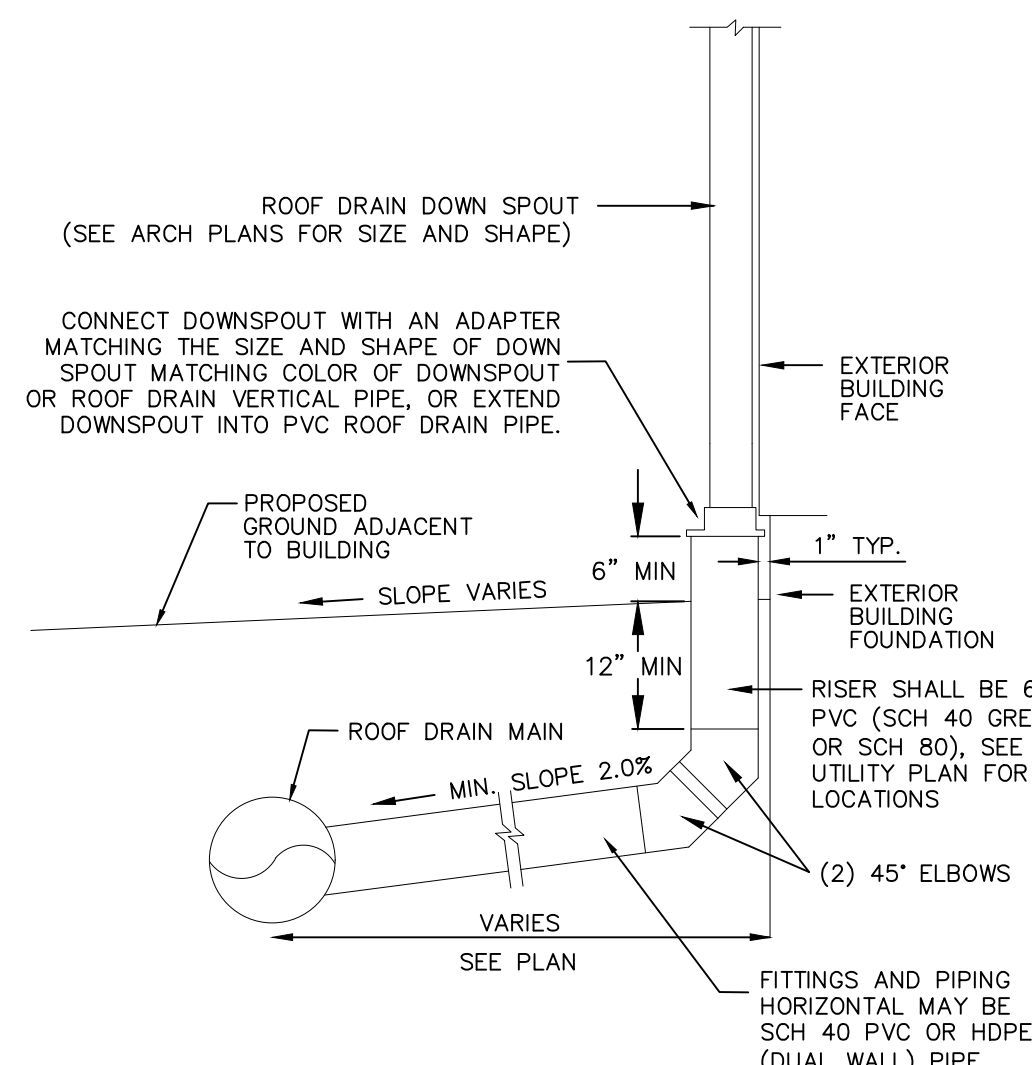
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Date Revision

### DOWNSPOUT TO ROOF DRAIN SEWER CONNECTION DETAIL

N.T.S.



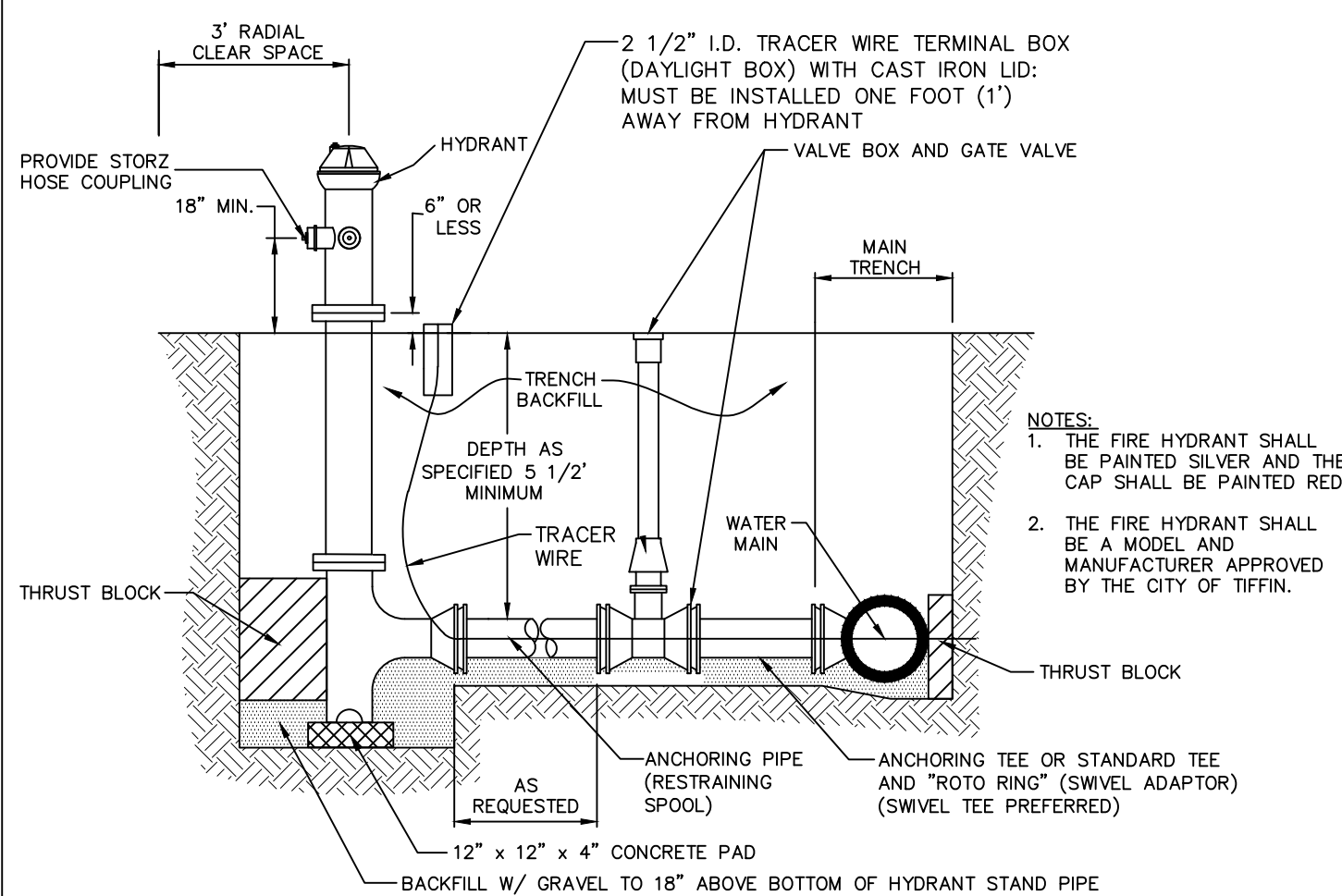
### STORM SEWER CONSTRUCTION NOTES

- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SUDAS STANDARD SPECIFICATIONS, CITY OF TIFFIN DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- THE CONTRACTOR SHALL USE RCP OR HDPE DUAL WALL STORM SEWER PIPE & BEDDING ACCORDING TO SUDAS FIGURES 3010.101 & 3010.102.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST THREE JOINTS ARE TO BE TIED USING DOT STANDARD ROAD PLAN RF-14 OR SIMILAR CONSTRUCTION WHERE FLARED END SECTIONS ARE REQUIRED.
- RCP STORM SEWERS SHALL HAVE BELL AND SPIGOT JOINTS WITH G-RING GASKETS OR PROFILE GASKETS.
- LONGITUDINAL SUBDRAIN SHALL BE INSTALLED PER SUDAS SUBDRAIN DETAIL CASE B, TYPE 1, FIGURE 4040.231. NO ENGINEERING FABRIC SHALL BE PLACED AROUND FORDUS BACKFILL.
- STORM SEWER TRENCHES SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
  - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 95% STANDARD PROCTOR DENSITY.
- ALL PIPE SHALL BE CERTIFIED.
- ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR IS TO PROVIDE A DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

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### TYPICAL HYDRANT

N.T.S.



- NOTES:
- THE FIRE HYDRANT SHALL BE PAINTED SILVER AND THE CAP SHALL BE PAINTED RED.
  - THE FIRE HYDRANT SHALL BE A MODEL AND MANUFACTURER APPROVED BY THE CITY OF TIFFIN.

### SANITARY SEWER AND WATER MAIN CONSTRUCTION NOTES

- SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT SUDAS STANDARD SPECIFICATIONS, CURRENT CITY OF TIFFIN SUDAS AMENDMENTS SHALL ALSO APPLY TO WORK ON THIS PROJECT.
  - THE CONTRACTOR SHALL PROVIDE CRUSHED STONE ENCASUREMENT FOR PVC TRUSS SANITARY SEWER. THE CONTRACTOR SHALL PROVIDE SANITARY SEWER PIPE & BEDDING ACCORDING TO THE CURRENT SUDAS SPECIFICATIONS AND APPROVED BY THE CITY OF TIFFIN.
  - SANITARY SEWERS TO BE PVC TRUSS PIPE UNLESS NOTED OTHERWISE. SANITARY SEWER SERVICE LINES SHALL BE PVC, SDR 23.5 WITH GASKETED JOINTS. SANITARY SEWER SERVICE LINES SHALL BE 6" DIAMETER UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO PROVIDE CLOW "BAND-SEAL" COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
  - 8" AND 12" DIAMETER WATER MAINS SHALL BE DR-18 PVC PIPE. ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON WITH RETAINING GLANDS AND MEGALUGS. ALL FITTINGS FOR WATER MAIN SHALL BE RESTRAINED WITH THRUST BLOCKS. ALL WATER MAINS AND SERVICE LINES SHALL HAVE CLASS P-1 BEDDING PER IOWA DOT STANDARD ROAD PLAN SW-104. FOR ALL WATER LINE VALVES, THE VALVE BOX AND GATE VALVE UNDER AWWA SHOULD BE INCLUDED ALONG WITH A VALVE BOX CENTERING ADAPTOR.
  - SANITARY SEWER TRENCHES SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
    - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
  - GRANULAR TRENCH BACKFILL SHALL BE CLASS A CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 95% STANDARD PROCTOR DENSITY.
  - ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
  - WATER MAINS AND SERVICE LINES WITHIN STREET RIGHT OF WAYS OR WITHIN EASEMENTS ADJACENT TO THE STREET RIGHT OF WAYS SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
    - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
  - ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED:
    - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
    - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED:
- WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
  - WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
  - VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES. WHERE THE SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN. THE SEWER AND WATER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10 FEET OF THE POINT OF CROSSING.
  - WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
  - AT LOCATIONS WHERE STORM SEWER CROSSES WATERMAIN, WATERMAIN SHALL BE INSTALLED UNDER STORM SEWER UNLESS OTHERWISE NOTED. AT LOCATIONS IN CLOSE PROXIMITY TO VALVES OR HYDRANTS, INSTALL BENDS AND FITTINGS AS NEEDED SO THAT DEPTH OF VALVE OR HYDRANT IS NO GREATER THAN 5.5 FEET NORMAL DEPTH.
  - NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE. VALVE STEM EXTENSIONS SHALL BE INSTALLED ON ANY WATERMAIN VALVE WITH MORE THAN 8 FEET OF COVER.
  - WATER MAIN SHALL BE INSTALLED PRIOR TO PAVING.

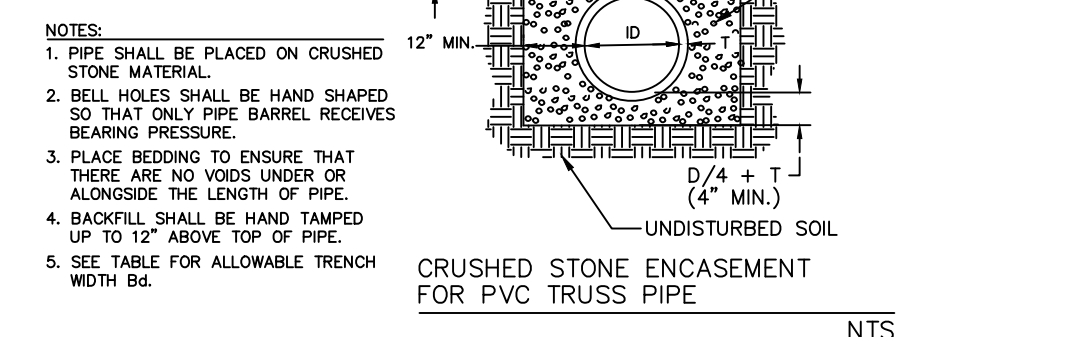
18) ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:

- AIR TESTING
- PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
  - PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOCKING.
  - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE 4 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT.
  - LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSIG.
  - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
  - MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

PIPE DIAMETER, INCHES	MINIMUM TIME, MIN	MINIMUM TIME, LONGER LENGTH, S	TIME FOR PRESSURE TO DROP, S
4	3:46	597	0.380 L
6	5:40	398	0.854 L
8	7:34	298	1.520 L
10	9:26	239	2.374 L
12	11:20	199	3.418 L
15	14:10	159	5.342 L
18	17:00	133	7.692 L
21	19:50	114	10.470 L
24	22:40	99	13.674 L
27	25:30	88	17.306 L
30	28:20	80	21.366 L
33	31:10	72	25.852 L
36	34:00	66	30.768 L

- IN AREAS WHERE GROUND WATER IS KNOWN TO EXIST, THE HEIGHT OF WATER ABOVE THE TOP OF THE PIPE BEING TESTED, IN FEET, SHALL BE DETERMINED AND THAT HEIGHT DIVIDED BY 2.3 TO ESTABLISH THE PRESSURE THAT WILL BE ADDED TO ALL READINGS ABOVE. ALTERNATIVELY, THE ENGINEER MAY ALLOW THE CONTRACTOR TO MEASURE INFILTRATION INTO THE SEWER BY USING A V-NOTCH WEIR OR OTHER SUITABLE DEVICE.
- LOCATE, REPAIR AND RETEST LEAKS.
- AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
- ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
  - DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
  - DEFLECTION TEST TO BE CONDUCTED USING A RIGID BALL OR MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. NO MECHANICAL PULLING DEVICES ALLOWED.
  - NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
- MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF SEALING OR APPROVED EQUAL. ALL SANITARY MANHOLES SHALL HAVE INTERIOR CHIMNEY SEALS.

ID INCHES	BD FEET & INCHES
4	2-0
6	2-0
8	2-0
10	2-0
12	2-0
15	2-0
18	2-0
21	2-0
24	2-0
27	2-0
30	2-0
33	2-0
36	2-0



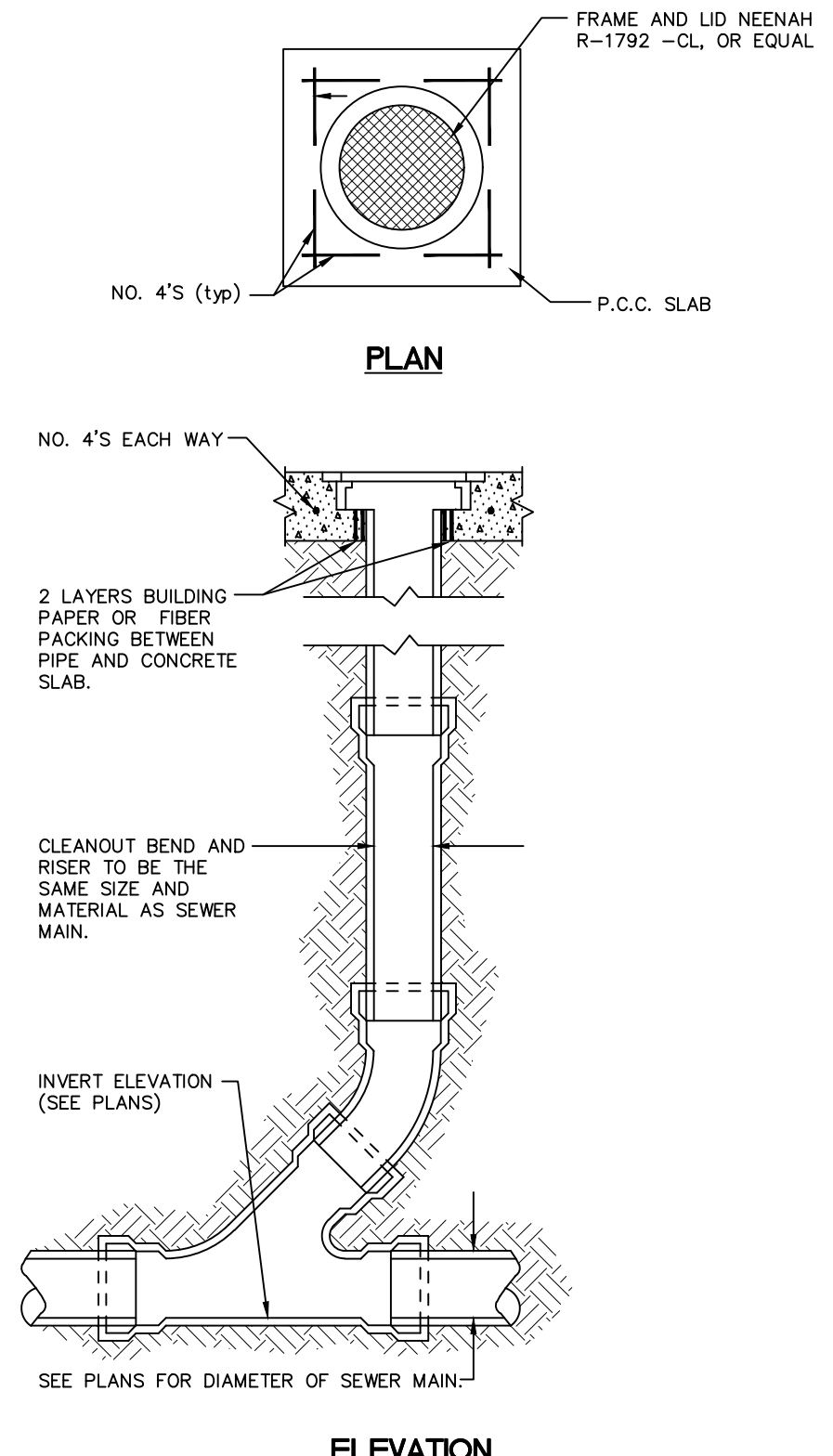
NOTES:

- PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
- BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
- PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
- BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
- SEE TABLE FOR ALLOWABLE TRENCH WIDTH BE.

WHERE PUBLIC OR PRIVATE UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

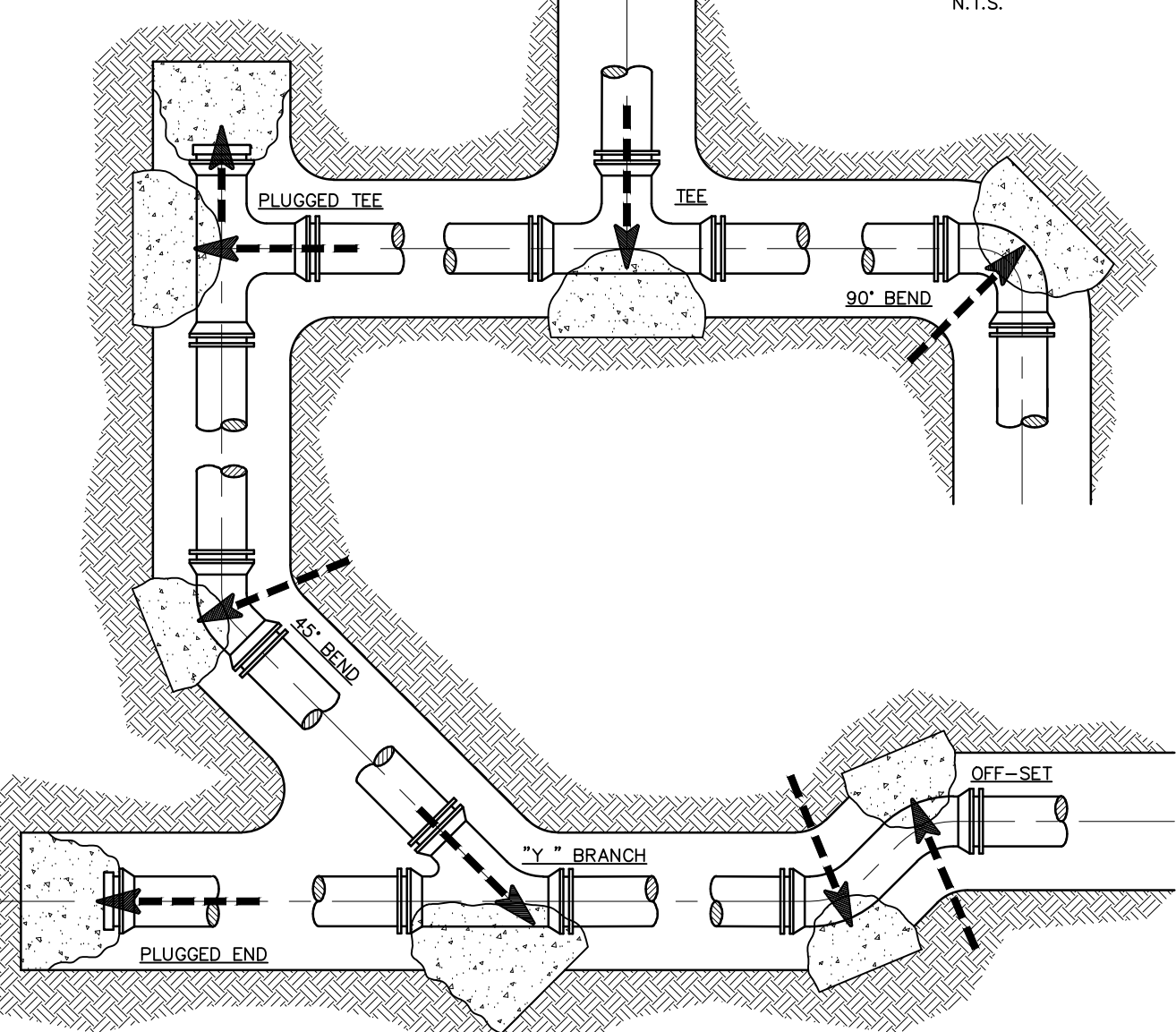
### SANITARY SERVICE CLEANOUT DETAIL

N.T.S.



### THRUST BLOCK DETAIL

N.T.S.



THRUST BLOCK MINIMUM BEARING AREA (IN SQUARE FEET)

PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	11-1/4 BEND	22-1/2 BEND
4"	1.4	1.9	1.0	1.0	1.0
6"	2.8	4.0	2.1	1.1	1.0
8"	4.8	6.8	3.7	1.9	1.0
10"	7.3	10.3	5.8	2.8	1.4
12"	10.3	14.5	7.9	4.0	2.0
16"	17.8	25.2	13.6	7.0	3.5
20"	27.5	38.9	21.0	10.7	5.4
24"	39.2	55.5	30.0	15.3	7.7

### FIRE INSPECTION NOTES

- FIRE LINE THRUST BLOCKS SHALL BE INSPECTED BY THE FIRE MARSHAL PRIOR TO BURIAL.
- NFA 24 UNDERGROUND HIGH VELOCITY FLUSH SHALL BE CONDUCTED PRIOR TO THE SPRINKLER CONTRACTOR CONNECTING TO THE FIRE LINE.
- FIRE SPRINKLER SYSTEM SHALL BE FLOW TESTED WITHIN 90-DAY SUBMITTAL OF FIRE SPRINKLER PLANS.
- UPON PERMIT ISSUANCE, ALL NEW COMMERCIAL AND RESIDENTIAL BUILDINGS UNDER CONSTRUCTION SHALL HAVE PLAINLY VISIBLE ADDRESSES FROM THE STREET. ADDITIONAL ADDRESS SIGNAGE MAY BE REQUIRED AT THE DISCRETION OF THE FIRE CODE OFFICIAL.

- C120 OVERALL LAYOUT PLAN
- C121 SITE DIMENSION LAYOUT PLAN WEST
- C122 SITE DIMENSION LAYOUT PLAN - EAST
- C140 OVERALL GRADING, EROSION CONTROL, AND SWPPP
- C141 DETAILED GRADING PLAN
- C142 DETAILED GRADING PLAN
- C143 DETAILED GRADING PLAN
- C144 DETAILED GRADING PLAN
- C145 DETAILED GRADING PLAN
- C146 DETAILED GRADING PLAN
- C147 DETAILED GRADING PLAN
- C160 SANITARY SEWER AND WATER MAIN PLAN
- C161 STORM SEWER PLAN
- C500 GENERAL NOTES AND DETAILS
- C501 GENERAL NOTES AND DETAILS
- L100 LANDSCAPE PLAN

### GENERAL NOTES AND DETAILS

LOTUS HILL SOUTH  
TIFFIN JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.  
Date: 05/18/2026  
Designed by: RAN Field Book No:  
Drawn by: TAV Scale: 1"=40'  
Checked by: RAN Sheet No:  
Project No: C500  
6385-084 of:



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. X W.
<b>TREES</b>							
	AG	7	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" Cal.	B4B	25' x 20'
	BN	7	Betula nigra	River Birch	2" Cal.	B4B	60' x 45'
	CC	8	Cercis canadensis	Eastern Redbud	1.5" Cal.	B4B	30' x 25'
	GT	7	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Thornless Honeylocust	2" Cal.	B4B	40' x 35'
	GD	7	Gymnocladus dioica 'Espresso-JFS'	Espresso Kentucky Coffeetree	2" Cal.	B4B	50' x 35'
	LT	7	Linodendron tulipifera	Tulip Tree	2" Cal.	B4B	80' x 50'
	MP	9	Malus x 'Prainfire'	Prainfire Crabapple	1.5" Cal.	B4B	20' x 20'
	QB	7	Quercus bicolor	Swamp White Oak	2" Cal.	B4B	60' x 60'
	TA	7	Tilia amercana 'Bailyard'	Frontyard® American Linden	2" Cal.	B4B	60' x 40'
	UF	7	Ulmus x 'Frontier'	Frontier Hybrid Elm	2" Cal.	B4B	40' x 30'
<b>SHRUBS, ORNAMENTAL GRASSES &amp; PERENNIALS</b>							
	JV	28	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	18" Ht.	Container	3' x 6'
	TM	25	Taxus x media 'Tauntomi'	Tauntom's Yew	18" Ht.	Container	3' x 5'
	TT	26	Thuja occidentalis 'BaiJohn' TM	Techito Arborvitae	30" Ht.	Container	10' x 5'
	TO	28	Thuja occidentalis 'Little Giant'	Little Giant Arborvitae	24" Ht.	Container	5' x 5'

# FINAL OPD SITE PLAN

## LOTUS HILL SOUTH

### TIFFIN, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER:  
HIGHTOWER DEVELOPMENT, INC  
PO BOX 5198  
CORALVILLE, IA 52241

APPLICANT:  
HIGHTOWER DEVELOPMENT, INC  
PO BOX 5198  
CORALVILLE, IA 52241

APPLICANT'S ATTORNEY:  
MATTHEW J. HEKTOEN  
SIMMONS PERRINE MOYER BERGMAN PLC  
115 3RD STREET SE, SUITE 1200  
CEDAR RAPIDS, IA 52401

**UTILITIES**  
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8999 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

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**STANDARD LEGEND AND NOTES**

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

**EXISTING**

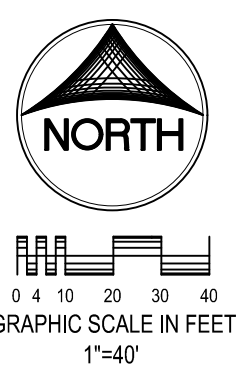
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINES
- PROPOSED WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

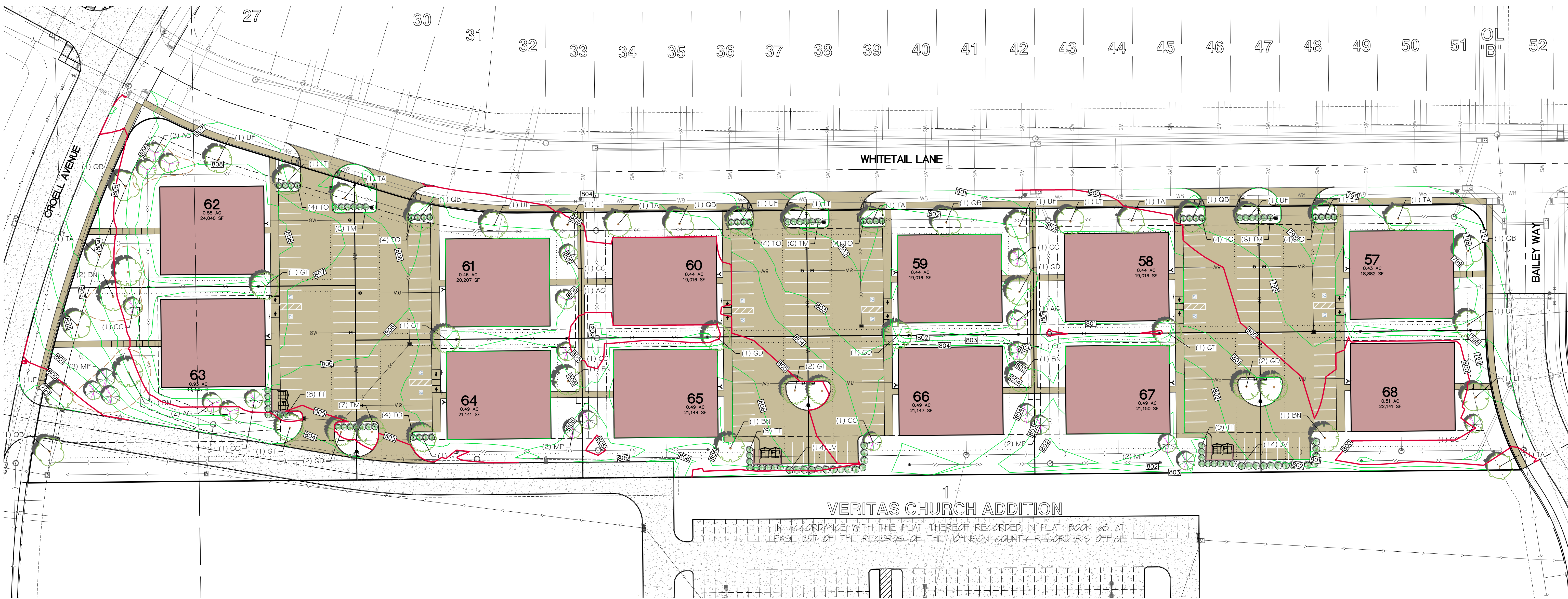


CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net



Date	Revision



LANDSCAPE PLAN

LOTUS HILL SOUTH  
TIFFIN JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 05/18/2026

Designed by: RAN Field Book No:

Drawn by: TAV Scale: 1"=40'

Checked by: RAN Sheet No:

Project No: 6385-084

**L100**

of: